

## Notice of Meeting

# Southern Area Planning Committee

**Date:** Tuesday 1 November 2022

**Time:** 5.30 pm

**Venue:** Main Hall, Crosfield Hall, Broadwater Road, Romsey, Hampshire,  
SO51 8GL

**For further information or enquiries please contact:**

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**Legal and Democratic Service**

Test Valley Borough Council,  
Beech Hurst, Weyhill Road,  
Andover, Hampshire,  
SP10 3AJ

[www.testvalley.gov.uk](http://www.testvalley.gov.uk)

**PUBLIC PARTICIPATION SCHEME**

*If members of the public wish to address the meeting they should notify the  
Legal and Democratic Service at the Council's Beech Hurst office by noon  
on the working day before the meeting.*

### **Membership of Southern Area Planning Committee**

<b>MEMBER</b>	<b>WARD</b>
Councillor M Cooper (Chairman)	Romsey Tadburn
Councillor M Hatley (Vice-Chairman)	Ampfield & Braishfield
Councillor G Bailey	Blackwater
Councillor P Bundy	Chilworth, Nursling & Rownhams
Councillor J Burnage	Romsey Cupernham
Councillor A Dowden	Valley Park
Councillor C Dowden	North Baddesley
Councillor S Gidley	Romsey Abbey
Councillor I Jeffrey	Mid Test
Councillor M Maltby	Chilworth, Nursling & Rownhams
Councillor J Parker	Romsey Tadburn
Councillor A Warnes	North Baddesley
Councillor A Johnston	Mid Test

## **Southern Area Planning Committee**

Tuesday 1 November 2022

### **AGENDA**

**The order of these items may change as a result of members  
of the public wishing to speak**

- 1 Apologies**
- 2 Public Participation**
- 3 Declarations of Interest**
- 4 Urgent Items**
- 5 Minutes of the meeting held on 11 October 2022**
- 6 Information Notes 4 - 9**
- 7 20/02385/FULLS - 11.12.2020 10 - 60**  
  
**(OFFICER RECOMMENDATION: PERMISSION)**  
SITE: Hill Farm Caravan Park, Branches Lane, Sherfield  
English, SO51 6FH, **SHERFIELD ENGLISH**  
CASE OFFICER: Graham Melton
- 8 22/02176/FULLS - 25.08.2022 61 - 92**  
  
**(OFFICER RECOMMENDATION: PERMISSION)**  
SITE: 109A Winchester Road, Romsey, Hampshire,  
SO51 8JF, **ROMSEY TOWN**  
CASE OFFICER: Sarah Barter
- 9 22/02223/FULLS - 30.08.2022 93 - 98**  
  
**(OFFICER RECOMMENDATION: PERMISSION)**  
SITE: Campsie Glen, Sandy Lane, Abbotswood, SO51  
0PD, **ROMSEY EXTRA**  
CASE OFFICER: Katie Savage

## ITEM 6

# TEST VALLEY BOROUGH COUNCIL SOUTHERN AREA PLANNING COMMITTEE INFORMATION NOTES

### **Availability of Background Papers**

Background papers may be inspected up to five working days before the date of the Committee meeting and for four years thereafter. Requests to inspect the background papers, most of which will be on the application file, should be made to the case officer named in the report or to the Development Manager. Although there is no legal provision for inspection of the application file before the report is placed on the agenda for the meeting, an earlier inspection may be agreed on application to the Head of Planning and Building.

### **Reasons for Committee Consideration**

The majority of applications are determined by the Head of Planning and Building in accordance with the Council's Scheme of Delegation which is set out in the Council's Constitution. However, some applications are determined at the Area Planning Committees and this will happen if any of the following reasons apply:

- (a) Applications which are contrary to the provisions of an approved or draft development plan or other statement of approved planning policy where adverse representations have been received and which is recommended for approval.
- (b) Applications (excluding notifications) where a Member requests in writing, with reasons and within the Application Publicity Expiry Date, that they be submitted to Committee. A Member can withdraw this request at any time prior to the determination of the application to enable its determination under delegated powers.
- (c) Applications submitted by or on behalf of the Council, or any company in which the Council holds an interest, for its own developments except for the approval of minor developments.
- (d) Applications where the Head of Planning and Building Services recommends refusal of an application solely on the basis of failure to achieve nutrient neutrality where a Ward Member requests in writing, with reasons, within 72 hours of notification of the recommendation for refusal that they be submitted to Committee for determination. A Member can withdraw this request at any time prior to the determination of the application to enable its determination under delegated powers.
- (e) To determine applications (excluding applications for advertisement consent, certificates of lawfulness, listed building consent, and applications resulting from the withdrawal by condition of domestic permitted development rights;



Schedule 2, Part 1, Classes B, C, D, E, F, G, and H of the Town and Country Planning (General Permitted Development) (England) Order 2015 or as amended) on which a material planning objection(s) has been received within the Application Publicity Expiry Date and which cannot be resolved by negotiation or through the imposition of conditions and where the officer's recommendation is for approval, following consultation with the Ward Members, the latter having the right to request that the application be reported to Committee for decision.

### **Public Speaking at the Meeting**

The Council has a public participation scheme, which invites members of the public, Parish Council representatives and applicants to address the Committee on applications. Full details of the scheme are available from Planning and Building Services or from Democratic Services at the Council Offices, Beech Hurst, Weyhill Road, Andover. Copies are usually sent to all those who have made representations. Anyone wishing to speak must book with the Democratic Services within the stipulated time period otherwise they will not be allowed to address the Committee.

Speakers are limited to a total of three minutes per item for Councillors on the Area Committee who have personal interests or where a Member has pre-determined his/her position on the relevant application, three minutes for the Parish Council, three minutes for all objectors, three minutes for all supporters and three minutes for the applicant/agent and relevant Ward Members who are not Committee Members will have a maximum of five minutes. Where there are multiple supporters or multiple objectors wishing to speak the Chairman may limit individual speakers to less than three minutes with a view to accommodating multiple speakers within the three minute time limit. Speakers may be asked questions by the Members of the Committee, but are not permitted to ask questions of others or to join in the debate. Speakers are not permitted to circulate or display plans, photographs, illustrations or textual material during the Committee meeting as any such material should be sent to the Members *and* officers in advance of the meeting to allow them time to consider the content.

### **Content of Officer's Report**

It should be noted that the Officer's report will endeavour to include a summary of the relevant site characteristics, site history, policy issues, consultations carried out with both internal and external consultees and the public and then seek to make a professional judgement as to whether permission should be granted. However, the officer's report will usually summarise many of the issues, particularly consultations received from consultees and the public, and anyone wishing to see the full response must ask to consult the application file.

## **Status of Officer's Recommendations and Committee's Decisions**

The recommendations contained in this report are made by the officers at the time the report was prepared. A different recommendation may be made at the meeting should circumstances change and the officer's recommendations may not be accepted by the Committee.

In order to facilitate debate in relation to an application, the Chairman will move the officer's recommendations in the report, which will be seconded by the Vice Chairman. Motions are debated by the Committee in accordance with the Council's Rules of Procedure. A binding decision is made only when the Committee has formally considered and voted in favour of a motion in relation to the application and, pursuant to that resolution, the decision notice has subsequently been issued by the Council.

## **Conditions and Reasons for Refusal**

Suggested reasons for refusal and any conditions are set out in full in the officer's recommendation.

Officers or the Committee may add further reasons for refusal or conditions during the Committee meeting and Members may choose to refuse an application recommended for permission by the Officers or to permit an application recommended for refusal. In all cases, clear reasons will be given, by whoever is promoting the new condition or reason for refusal, to explain why the change is being made.

## **Decisions subject to Completion of a Planning Obligation**

For some applications, a resolution is passed to grant planning permission subject to the completion of an appropriate planning obligation (often referred to as a Section 106 agreement). The obligation can restrict development or the use of the land, require operations or activities to be carried out, require the land to be used in a specified way or require payments to be made to the authority.

New developments will usually be required to contribute towards the infrastructure required to serve a site and to cater for additional demand created by any new development and its future occupants. Typically, such requirements include contributions to community facilities, village halls, parks and play areas, playing fields and improvements to roads, footpaths, cycleways and public transport.

Upon completion of the obligation, the Head of Planning and Building is delegated to grant permission subject to the listed conditions. However, it should be noted that the obligation usually has to be completed sufficiently in advance of the planning application determination date to allow the application to be issued. If this does not happen, the application may be refused for not resolving the issues required within the timescale set to deal with the application.

## **Deferred Applications**

Applications may not be decided at the meeting for a number of reasons as follows:

- \* The applicant may choose to withdraw the application. No further action would be taken on that proposal and the file is closed.
- \* Officers may recommend deferral because the information requested or amended plans have not been approved or there is insufficient time for consultation on amendments.
- \* The Committee may resolve to seek additional information or amendments.
- \* The Committee may resolve to visit the site to assess the effect of the proposal on matters that are not clear from the plans or from the report. These site visits are not public meetings.

## **Visual Display of Plans and Photographs**

Plans are included in the officers' reports in order to identify the site and its surroundings. The location plan will normally be the most up-to-date available from Ordnance Survey and to scale. The other plans are not a complete copy of the application plans and may not be to scale, particularly when they have been reduced from large size paper plans. If further information is needed or these plans are unclear please refer to the submitted application on the Council's website. Plans displayed at the meeting to assist the Members may include material additional to the written reports.

Photographs are used to illustrate particular points on most of the items and the officers usually take these. Photographs submitted in advance by applicants or objectors may be used at the discretion of the officers.

## **Human Rights**

The European Convention on Human Rights" ("ECHR") was brought into English Law, via the Human Rights Act 1998 ("HRA"), as from October 2000.

The HRA introduces an obligation on the Council to act consistently with the ECHR.

There are 2 Convention Rights likely to be most relevant to Planning Decisions:

- \* Article 1 of the 1st Protocol - The Right to the Enjoyment of Property.
- \* Article 8 - Right for Respect for Home, Privacy and Family Life.

It is important to note that these types of right are not unlimited - although in accordance with the EU concept of "proportionality", any interference with these rights must be sanctioned by Law (e.g. by the Town & Country Planning Acts) and must go no further than necessary.

Essentially, private interests must be weighed against the wider public interest and against competing private interests. Such a balancing exercise is already implicit in the decision making processes of the Committee. However, Members must specifically bear Human Rights issues in mind when reaching decisions on all planning applications and enforcement action.

### **Natural Environment and Rural Communities Act 2006 (NERC)**

The Council has a duty under the Natural Environment and Rural Communities Act 2006 as follows: "*every public authority must, in exercising its functions, have regard, so far as is consistent with the proper exercise of those functions, to the purpose of conserving biodiversity*".

It is considered that this duty has been properly addressed within the process leading up to the formulation of the policies in the Revised Local Plan. Further regard is had in relation to specific planning applications through completion of the biodiversity checklists for validation, scoping and/or submission of Environmental Statements and any statutory consultations with relevant conservation bodies on biodiversity aspects of the proposals. Provided any recommendations arising from these processes are conditioned as part of any grant of planning permission (or included in reasons for refusal of any planning application) then the duty to ensure that biodiversity interest has been conserved, as far as practically possible, will be considered to have been met.

### **Other Legislation**

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that determination of applications be made in accordance with the Development Plan unless material considerations indicate otherwise. The Development Plan for the Borough comprises the Test Valley Borough Revised Local Plan (2016), and 'made' Neighbourhood Plans. Material considerations are defined by Case Law and includes, amongst other things, draft Development Plan Documents (DPD), Supplementary Planning Documents (SPD) and other relevant guidance including Development Briefs, Government advice, amenity considerations, crime and community safety, traffic generation and safety.

On the 19<sup>th</sup> February 2019 the Government published a revised National Planning Policy Framework (NPPF). The revised NPPF replaced and superseded the previous NPPF published in 2018. The revised NPPF is a material consideration in planning decisions.

So that sustainable development is pursued in a positive way, at the heart of the revised NPPF is a presumption in favour of sustainable development. Decisions should apply a presumption in favour of sustainable development. This does not change the statutory status of the development plan as a starting point for decision making. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Where a planning application conflicts with an up to date development plan, permission should not usually be granted. Local planning authorities may take decisions which depart from an up to date development plan,

but only if material considerations in a particular case indicate that the plan should not be followed.

For decision-taking, applying the presumption in favour of sustainable development means:

- Approving development proposals that accord with an up to date development plan without delay; or
- Where there are no relevant development plan policies, or the policies which are most important for determining the application are out of date, granting permission unless:
  - The application of policies in the revised NPPF that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or
  - Any adverse impact of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the revised NPPF when taken as a whole.

Existing Local Plan policies should not be considered out of date because they were adopted prior to the publication of the revised NPPF. Due weight should be given to them, according to their degree of consistency with the revised NPPF (the closer the policies in the Local Plan to the policies in the revised NPPF, the greater the weight that may be given).

## ITEM 7

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<b>APPLICATION NO.</b>	20/02385/FULLS
<b>APPLICATION TYPE</b>	FULL APPLICATION - SOUTH
<b>REGISTERED</b>	11.12.2020
<b>APPLICANT</b>	Mr G Billett, DHI Limited
<b>SITE</b>	Hill Farm Caravan Park, Branches Lane, Sherfield English, SO51 6FH, <b>SHERFIELD ENGLISH</b>
<b>PROPOSAL</b>	Use land for the siting of holiday lodges (static caravans), access and parking, landscape planting and associated infrastructure; to replace existing touring caravan, camping pitches and caravan storage areas
<b>AMENDMENTS</b>	Received on 08.10.2021, 02.11.2021 and 19.07.2022: <ul style="list-style-type: none"><li>• Additional information to inform Appropriate Assessment</li></ul> Received on 09.02.2021 and 14.06.2021: <ul style="list-style-type: none"><li>• Additional landscape plans</li></ul> Received on 11.12.2020, 18.12.2020, 11.01.2021, 12.01.2021: <ul style="list-style-type: none"><li>• Additional and amended supporting information relating to onsite ecology and drainage matters</li></ul> Received on 11.12.2020: <ul style="list-style-type: none"><li>• Heritage statement</li></ul>
<b>CASE OFFICER</b>	Graham Melton

Background paper (Local Government Act 1972 Section 100D)

[Click here to view application](#)

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### 1.0 INTRODUCTION

1.1 The application is presented to Southern Area Planning Committee at the request of a local ward member because the application raises issues of more than local public interest.

### 2.0 SITE LOCATION AND DESCRIPTION

2.1 The application site is an existing camping and caravan site known as Hill Farm Caravan Park, located on the east side of Branches Lane at the junction with and to the southern side of Doctors Hill.

2.2 The application site measures approximately 5ha in total and comprises the main pitch areas known as The Pines and The Hawthorns at the entrance to the application site. The existing overflow pitch area known as The Willows and caravan storage areas are located in the centre and to the rear (east).

2.3 The application site is currently subject to a number of restrictions on the type and frequency of occupancy as established under application reference 11/00308/OBLS. A summary of the existing legal obligations is set out in paragraph 4.1.

### 3.0 PROPOSAL

- 3.1 The proposal is to change the use of the existing touring caravan, camping pitches and caravan storage areas to be used for the siting of 80 holiday lodges. In addition the land allocated for the siting of the 80 lodges also includes in part the existing recreation space in the centre of the wider application site.
- 3.2 In association with the proposed change of use of the land, additional internal access tracks and parking areas are proposed to be installed onsite. Furthermore, the proposed scheme includes additional soft landscape planting onsite.
- 3.3 The lodges themselves are not included within the scope of the proposal on the basis that the lodges qualify as a caravan under the Caravan Sites and Control of Development Act (1960), with the definition of 'caravan' within this legislation set out as follows:

*“caravan” means any structure designed or adapted for human habitation which is capable of being moved from one place to another (whether by being towed, or by being transported on a motor vehicle or trailer) and any motor vehicle so designed or adapted, but does not include—*

- (a) any railway rolling stock which is for the time being on rails forming part of a railway system, or*
- (b) any tent;*

Section 13 (1) of the Caravan Sites Act (1968) expanded upon this definition in relation to twin-unit caravans, set out as follows:

- (1) A structure designed or adapted for human habitation which—*
- (a) is composed of not more than two sections separately constructed and designed to be assembled on a site by means of bolts, clamps or other devices; and*
  - (b) is, when assembled, physically capable of being moved by road from one place to another (whether by being towed, or by being transported on a motor vehicle or trailer), shall not be treated as not being (or as not having been) a caravan within the meaning of Part I of the Caravan Sites and Control of Development Act 1960 by reason only that it cannot lawfully be so moved on a highway road when assembled.*
- (2) For the purposes of Part I of the Caravan Sites and Control of Development Act 1960, the expression “caravan” shall not include a structure designed or adapted for human habitation which falls within paragraphs (a) and (b) of the foregoing subsection if its dimensions when assembled exceed any of the following limits, namely—*
- (a) length (exclusive of any drawbar): 65.616 feet (20 metres);*
  - (b) width: 22.309 feet (6.8 metres);*
  - (c) overall height of living accommodation (measured internally from the floor at the lowest level to the ceiling at the highest level): 10.006 feet (3.05 metres).*

As such, only indicative floor plans and elevations have been provided with the application.

#### 4.0 HISTORY

##### 4.1 **11/00308/OBLS** – Modification of legal agreement. *Modify Planning Obligation, decision issued on 18 December 2017.*

This legal agreement consolidated the previous planning history to impose the following limitations on the application site:

- Define 'Camping Units' as per the 2003 Agreement.
- The Pines:
  - Maximum of 45 Camping Units
  - Maximum of 28 Consecutive Days
  - Except 5 Units that can remain on the site throughout the season
  - The season being 01/03 – 31/10 in any calendar year.
- The Hawthorns:
  - Maximum of 55 Camping Units
  - Maximum of 28 Consecutive Days
  - 8 pitches for disabled guest use
  - The season being 01/03 – 31/10 in any calendar year.
- The Pines and Hawthorns to be combined as the "Touring Park".
- The Wardens Caravan to be occupied only by a person(s) engaged in supervising activities on the land.
- Holiday Park Units 2, 3 and 4 shall not be occupied between 01/01 – 31/01 in any one calendar year.
- Holiday Park Units 5, 6, 7 shall not be occupied between 01/02 – 28/02 in any one calendar year.
- Holiday Park Units 2-7 to be used for holiday accommodation only.
- Holiday Park Unit 8 to be occupied by the Site Owner on a permanent basis.
- Holiday Park Unit 1 to be occupied on a permanent basis by Sue Smith for her lifetime or until such time as she vacates the property.
- On the cessation of Sue Smith's occupation the caravan shall revert back to holiday accommodation only and shall not be occupied between 01/01 – 31/01 in any one calendar year.
- The Poplars as defined on the submitted plan shall be used for the storage of up to 30 Caravans.
- There shall be no occupation of the stored caravans in the Poplars Storage Area.
- The Existing Storage Areas shall be retained as per the terms of the 1996 Agreement and planning permission 06/02397/FULLS.
- The Willows shall be bound by the terms of the 1983 Agreement.
- Discharge the obligations in previous agreements.



- 4.2 **15/00997/FULLS** - Single storey wellbeing studio for the use of visitors staying overnight on the park and 10 space car park (amended description). *Permission subject to conditions and notes, decision issued on 09.12.2015.*
- 4.3 **16/01128/VARS** - Vary condition 7 of 15/00997/FULLS (Single storey wellbeing studio for the use of visitors staying overnight on the park and 10 space car park) to allow use by members and customers staying on Park for pre-booked classes and treatments. *Permission subject to conditions and notes, decision issued on 11.07.2016.*
- 4.4 **17/01463/FULLS** - Construction of 4 dog kennels with runs and communal exercise area and separate reception/dog grooming building. The erection of 2 buildings for the storage of plant and machinery. *Permission subject to conditions and notes, decision issued on 28.03.2018.*
- 4.5 **17/02869/VARS** - Remove conditions 3 and 4 of 15/00997/FULLS (Single storey wellbeing studio for the use of visitors staying overnight on the park and 10 space car park) tree protection fencing to be erected and maintained for the duration of works. *Permission subject to conditions and notes, decision issued on 02.02.2018.*
- 4.6 **18/01809/FULLS** - Removal of existing managers accommodation and provision of replacement unit in new location with existing area to provide additional parking. *Permission subject to conditions and notes, decision issued on 21.09.2018.*

## 5.0 **CONSULTATIONS**

### 5.1 **Ecology** – Comment (summarised).

- Following previous ecological comments raised on the 20.11.2020, an revised Preliminary Ecological Assessment (Arbtech, November 2020) has been submitted, which now includes information regarding the protected sites and habitats within and adjacent to the site
- While protected sites (SINC) have been identified, no impacts or mitigation measures have been outlined, particularly regarding ongoing management of recreational pressure, and impacts during the construction phase outlined within the previous ecological response
- Advise that that the likely impacts and from recreational pressure and during the construction phase of the development is included within the report, as well as suitable mitigation measures.

### 5.2 **Economic Development** – No objection (summarised).

- Strongly support the application to replace 143 touring caravan, camping pitches and caravan storage pitches with 80 high specification timber style holiday lodges on grounds that this major investment will
  1. ensure the long term viability of a very well-established Test Valley tourism facility by enabling it to evolve from slightly dated caravan park operating in Summer to a holiday lodge park open all year round;

2. meet growing customer expectations for higher quality accommodation noting that demand for the touring caravan market is falling by 5-10% p.a.;
  3. secure the viability of the Post Office, shop and well-being centre which are used by the local community as well as customers;
  4. significantly increase visitor spend which will support local businesses both through the park's supply chain as well as customers expenditure in local facilities etc;
  5. provide a further 5 FTE jobs on top of the 8 full time and 8 part time jobs; and
  6. make a significant contribution to the recovery of the hospitality sector in Test Valley from the Pandemic and recession.
- This evolution in the form, reflects other parts of the hospitality sector, such as the need for visitor accommodation for rural pub will also position Hill Farm to meet the growing domestic staycation market and contribute to Test Valley's vibrant visitor economy.

**5.3 Environment Agency** – No objection (summarised).

- No objection but advise the applicant that an environmental permit may be required for this site

**5.4 Environmental Protection** – No comment.

**5.5 Highways** – No objection subject to conditions.

**5.6 Landscape** – Comment (following the receipt of additional information, summarised as follows):

- Additional information has been submitted including a new planting plan.
- The planting plan appears the same as previously proposed, however the lodges are now slightly off set and have been moved further away from the hedgerow and into the site
- It is noted that *Ulmus procera* is proposed as part of the mix, if this species is proposed as hedgerow species and will be regularly clipped it will be fine to keep in the mix, however if the intention is to establish these spaces as a tree, it should be replaced for a similar species such as Hornbeam which is more disease resistant.
- Whilst the hedgerow/tree belt species are deemed acceptable and could provide a level of mitigation along the frontage; the proximity of the lodges is still close to the boundary planting, in some cases still butting up against one another.
- This is likely to cause future conflict, particularly when the larger tree species become established.

- The Landscaping Plan states that 'All trees are to be planted as shown ensuring a minimum of 5 metres from buildings and 3 metres from drainage and services'.
- Whilst the plan is not to a registered scale, it would appear that some of the species shown are closer than the 5m to the buildings.

5.7 **Local Lead Flood Authority** – No objection subject to conditions.

5.8 **Natural England** – No objection (following the receipt of amended Appropriate Assessment, response summarised as follows):

- Based on the plans submitted, Natural England considers that the proposed development will not have significant adverse impact on designated sites and has no objection.
- Based on the plans submitted, Natural England considers that the proposed development will not have likely significant effects on the Solent and Southampton Water SPA and the Solent Maritime Special Area of Conservation in addition to the New Forest SPA, SAC and Ramsar site, and has no objection to the proposed development.
- To meet the requirements of the Habitats Regulations, it is advised to record the decision that a likely significant effect can be ruled out.
- The following may provide a suitable justification for that decision:
  - The proposed development will not result in a net increase in population at the application site.
  - Land use change has been accounted for in the nutrient budget dated 9<sup>th</sup> August 2022 which calculates the proposed development will result in a net reduction in Total Nitrogen discharging into the Solent designated sites.

5.9 **Planning Policy** – No objection (summarised).

Principle of development

- Policy COM2: Settlement Hierarchy – the site lies outside the boundaries of settlement and is therefore within the countryside. Development outside of settlement boundaries will be permitted if a) it is a type appropriate according to RLP policy or b) it is essential to be located in the countryside.
- Policy LE18: Tourism - this application seeks to replace existing caravan and camping pitches and caravan storage with new timber style holiday lodges
- It is determined that the criteria set out within policy LE18 have been met
- The only reference to visual impact within this policy is concerned with seasonal structures related to tourism, such as marquees.
- Such structures should be temporary in nature and not have an adverse impact on the landscape.

- There is no other mention of landscape impact within this tourism policy and as this proposal is within the boundary of a site where permission for tourist accommodation is already in place visual and landscape impacts will be considered under Policy E2.
- Policy COM14: Community Services and Facilities - the applicant states that the existing shop and post office on site are heavily reliant on the existing tourist facility, but that in its current state the business is seasonal and these community facilities are impacted by decreased custom in the low season.
- By replacing the existing caravan and camping pitches with timber holiday lodges more suited to year round use the applicant believes there would be considerable benefits including maintaining these community services.

#### Impact on the character and appearance of the area

- Policies E1 and E2 are applicable, suggest consultation with Landscape officers

#### Ecology

- Policies E5 and E6 are applicable, consideration of the impact on designated sites needs to be undertaken
- SINCS: Site Of Important Nature Conservation - SU30102320 is located within the site boundary although the plans show that this land is to remain undeveloped

#### 5.10 **Southern Water** – Comment (summarised).

- The Environment Agency should be consulted directly by the applicant regarding the use of a private wastewater treatment works which disposes of effluent to sub-soil irrigation.
- The Council's Building Control officers or technical staff should be asked to comment on the adequacy of soakaways to dispose of surface water from the proposed development.
- It is possible that a sewer now deemed to be public could be crossing the development site.
- Therefore, should any sewer be found during construction works, an investigation of the sewer will be required to ascertain its ownership before any further works commence on site.

#### 5.11 **Trees** – No objection subject to conditions.

#### 6.0 **REPRESENTATIONS** Expired 14.02.2022

#### 6.1 **Sherfield English Parish Council** – Objection (Points raised over separate responses, summarised below):

- Object to the proposal, the amended information has no material effect on the original concerns and therefore the original objection still stands.
- Whilst the parish council want to support rural businesses and local families, the application as it stands cannot be supported for the following reasons:

1. The proposed scale and density were considered over-development for a site within the countryside.
2. Concerns regarding the change of occupation from 8 months to a year were raised due to the potential for cabins to become second homes rather than for tourism use; 12 month occupation of the cabins would be considered unacceptable – an opinion shared by all councillor and parishioners present at the meeting.
3. Screening was not considered adequate within the proposal, both from a privacy point of view to the neighbours and to effectively negate any environmental issues.
4. Light pollution from the site may be unacceptable due to the larger windows on the cabins but also the additional roof lights.
5. The apparent loss of green space on the plan, especially on the southern boundary.
6. The proposal is contrary to the draft Neighbourhood Development Plan which details small pockets of houses over several years. A proposal for 80 cabins far exceeds this.

**6.2 56 representations from various addresses – Objection (summarised).**

Principle of development

- As a point of law, Policy LE18 can hardly be interpreted such that an existing planning permission for camping pitches implies outline planning approval for any other tourism related accommodation including permanent housing such as Chalet Bungalows or a hotel at whatever scale.
- Planning Policy officer's comments in relation to Policy LE18 are a remarkably generous reading of the policy.
- The proposed development will negatively impact on tourism as the lodges offer a greater range of living accommodation and will result in less spending on local facilities.
- There is insufficient infrastructure within the surrounding area to support the proposed development.
- The proposal will create a future social problem and will negatively impact the social cohesion of the local community.
- The proposed lodges will be more visually prominent and therefore contrary to Policy LE18 criteria.
- The application has not been accompanied by a viability statement as required by Policy LE18 criteria.
- Contrary to Policy LE16.
- Need has not been justified, a similar development at Green Hill Farm, Landford has not been occupied.
- Assertion that demand for touring caravans and tent pitches is being reduced, is contrary to the assertion in previous applications and industry data.
- Viability of the proposal has not been justified.
- Unsustainable location reliant on travel by car.
- Need, NPPF, Local Plan, Supplementary Planning Documents.

### Impact on the character and appearance of the area

- Design, materials, over development, character of area, trees
- It should be noted here that the proposed 80 bungalows on some five acres compares to little more than 200 households widely dispersed across the whole Parish.
- Therefore, the proposed development is disproportionately large.
- The application site is not very well screened and does not blend into its surroundings.
- Would support a well laid out site with attractive Lodges but feel that 80 such lodges would probably be excessive, this would alter the character of this rural area in a detrimental way.
- Proposed 80 lodges represents a significant over development in the context of the existing dwellings within Sherfield English.
- Neighbourhood Development Plan group object to the development as the proposal is overdevelopment, would welcome an application to change one zone of the application site.
- The Village Design Statement identifies that the settlement pattern of the village is widely dispersed, the proposed development runs directly counter to this guidance.
- Contrary to guidance notes no's 1, 2, 3 and 6 of the Sherfield English Village Design Statement.

### *Landscape*

- The RPS LVA has not been able to consider winter visibility, and has underestimated the extent to which visibility of the proposed lodges would be greater in the winter.
- It has further understated the likely visibility of the development by failing to consider those areas with the clearest views of it, along Branches Lane as it passes the site.
- The LVA does not appear to have given any real weight to the significant tree loss which the development which involve.
- The LVA has overstated the effects and benefits of the proposed mitigation – the Landscape Masterplan clearly shows that this would be a very dense form of development with a narrow band of planting only along its western boundary and with little open space left within the site.
- The RPS LVA has completely ignored the VDS, which includes important and relevant information about the value placed on the character of the village and the dispersed settlement pattern, which the proposals would conflict with.
- Finally, the LVA has failed to properly consider the inappropriateness of the scale and density of the proposed development, and the difference in nature between a permanent, built development of tightly packed lodges and the existing seasonal use by caravans.
- Reviewing the proposed landscaping plan and specification which pays lip service to planning requirements.
- The standards of maintenance, tree care and planting of the present site are inadequate and clearly trees and planting are seen as a waste of space.

- The currently proposed specification is inadequate and impossible to implement.
- The plant specifications and overall plan will not provide the screening and buffer required to soften the impact of a development of this scale.
- Lodges will result in greater visual intrusion due to increased dimensions in comparison to existing use by caravans and tents.
- Insufficient spacing between pitches, particularly in the context of the impact of Covid on requirements for living conditions.
- Insufficient screening, suggest a reduction in pitches.
- The submitted arbtech survey is inaccurate as the layout of the boundary fence with Pound Farm is wrong and includes some of the planting on the Pound Farm side of the fence.
- Proposed landscaping should be required prior to the proposed lodges being brought onto the application site.

#### *Trees*

- It is noted that current onsite development has encroached into tree protection areas.
- A lower density will ensure that the woodland is protected as well as local biodiversity.

#### Ecology

##### *Onsite impacts*

- Effect of noise and light pollution will have a significant effect on onsite wildlife and biodiversity.
- No reference to wetland and wildlife copse with a large pond on the adjoining land forming part of Pound Farm.
- Currently a very dark site at night and the proposed lodges have skylights in them – closing the site over winter would prevent this.
- External lighting should be Passive Infrared detectors only as recommended in the ecology report.
- Proposed development will negatively impact a bat colony previously identified within the roof space of March End resulting from all year round light spill and external lighting.
- A significant reduction in greenspace onsite with habitat and biodiversity implications.
- Confirm sightings of many priority species, such as a variety of bat species, deer, grass snakes, badgers, slow worms and Song Thrushes.
- Lodges will increase the proximity of lighting adjacent to the SINC.
- Proposal will result in the development of existing greenfield amenity land.
- There should be no skylights within the proposed lodges.
- Proposal does not include many of the recommended biodiversity enhancements within the submitted survey report.
- No Ecological Construction Method Statement or Ecological Management Plan has been provided as requested by the Ecologist.

### *Offsite impacts*

- The submitted drawings for the lodges indicate a total of 240 double rooms spread across 80 chalets for year-round occupation, compared with 100 camping or caravan pitches only fully occupied on a peak bank-holiday weekend.
- This is a huge increase in local population, suggesting more than double the number of occupiers and all year-round against the current peak summer holiday occupancy.
- The applicants figures have are clearly wrong and the figures have not been subject to external review.
- Applicant's assertion that the proposal is site neutral is incorrect, the proposed development will result in a 57% increase of visitor nights at the site.
- Calculation shows that site neutral figure would be 51 lodges.
- Disagree that with the assertion that the proposed will result in a site neutral impact, the proposal will generate an intensification of the use with a detrimental environmental impact.
- Do not understand how the proposal can be allowed with the current nitrate issue, all waste will have to be correctly filtered before reaching the Blackwater.
- Appropriate Assessments undertaken by TVBC are flawed in omitting reference to Mottisfont Bats SAC, and relying on incorrect and inappropriate data sources for occupancy rates and water usage.
- The use of 2.5 occupancy figures for the proposed lodges as used in the Appropriate Assessment is derived from an extremely small data source – perhaps only 1 static unit.
- The existing static caravans are older, smaller and dissimilar in character to the proposed 3 bed lodges.
- It is illogical to use a higher figure for existing accommodation than the proposed lodges.
- Similar application at Landford has reported an occupancy figure of 4 people per lodge.
- Alternative data sources, including tourism surveys, water industry standards for water usage demonstrate that the proposal would result in an increase in visitor population.
- TVBC figures that the proposal will result in less visitors undermines the business case for the proposed development and is undermined by local knowledge of how the site has operated previously.
- No discussion or comment from TVBC on why the data provided by residents has not been used or fully referenced when it represents a more precautionary and robust approach.
- Horrified by Natural England's no objection as the figures are incorrect and a public enquiry must be held.

### Water Management

- Increase in demand for water usage and impact on local water supply.
- Impact of climate change and increase in hardstanding of 1.2 hectares will stress the local environment and it is likely that the existing infrastructure cannot cope.



- Recycling of rain and grey water should be incorporated into the design.
- Details of the surface water drainage method for the lodge pitches and parking areas should be provided.

#### Impact on the general amenity of the area

- Noise.
- Light Pollution from occupation during winter months and at night.
- Fire risk during summer from barbeques.
- Odour, rats, hygiene, own biosecurity and the danger of rotary grass cutters operating in the adjoining field, there should be no occupation within 20-30 yards of the adjoining Pound Farm.
- Previous issues with leaking sewerage, current infrastructure will not be able to cope.
- No mains drainage or gas supply
- Site layout does not account for the risk and impact of a Covid outbreak onsite.

#### Heritage

- Impact on the Grade II listed properties and particularly Martins Roost has not been accounted for and there is insufficient planting proposed on the boundaries of the application site to protect an adverse impact.

#### Impact on the amenity of residential property

- Overlooking
- Proximity of lodges to the adjoining field forming part of Pound Farm, considerable concerns over positioning of pitches so close to boundary fence.

#### Highways

- Any development at the scale proposed should require improvements to the surrounding roads as there is currently insufficient room for vehicles to pass easily either in Branches Lane between Pound Farm and the crossroads on the A27 to the South or on the bends round North Common to the North.
- Branches Lane already carries many pedestrians between the application site down towards the Garden Centre, Pub, Garage and Village Hall.
- A footpath or pavement along Branches Lane will be necessary.
- Consider that the proposed parking provision is insufficient and should be increased to prevent overspill onto Branches Lane or Doctors Hill.
- There are no highways contributions.
- Traffic generation, parking and safety.

#### Crime and community safety

- Crime and community safety

#### Conditions

- Essential that any planning permission contains enforceable conditions to prevent year round occupation.

- The lodges will be sold and therefore it will not be possible to enforce any planning conditions imposed.
- Similar proposal at Winchester Golf Club was granted at appeal with a condition imposed limiting occupation of individual units to a maximum period of 4 weeks for a maximum of 3 occasions per year.
- This condition should be applied to the current proposal.
- Consider that the proposal should be subject to the same seasonal restrictions that are currently in place.
- Consider that the LPA should enforce current restrictions to the underdeveloped pitches during the implementation phase to preserve the current status quo.
- At what point will the permission be activated?
- When will the onsite storage and caravan sales business be removed from site?
- At what point will the existing permission for 100 touring unit and 43 tent units become invalid?

#### Other matters

- The lodges do not qualify as caravans as defined under the caravan act and therefore, the application is fundamentally flawed and misleading.
- As the lodges do not qualify as caravans under the caravan act then the application site cannot be controlled through the site licencing process as the planning agent asserts.
- Believe the application is part of a long term plan to change the application site to permanent housing.
- Correspondence from the agent confirms that the lodges will be permanent housing.
- Correspondence from planning agent indicates that conditions would not be enforced, applicant has not previously complied with planning restrictions or conditions.
- Any permission should include detailed design of the proposed lodges.
- Submitted drawings include an existing onsite building that represents a current breach of planning control.
- Example at King Edward Mobile Home Park demonstrate that the lodges constitute permanent housing.
- A similar situation to that which occurred at Romsey Brewery whereby the development is commenced but not completed as it is improbable that 80 bungalows would be sold.
- Dangerous to use the village shop and post office as a bargaining tool, it would not be used as often by occupants of the proposed lodges.
- Fear for the future and what would come next.
- Previous planning decisions.
- Inconsistency of decision making, TVBC will not allow a single dwelling to be built in Sherfield English, the application should be refused.
- Applications for the bungalows in tranches of 20 would retain some control of its character and environment which is after all classified as countryside.
- There is no public open space contribution.

**6.3 11 letters in total from various addresses – Support (summarised).**

- Constantly suffer from a lack or reduction of local services that residents need, many times this is because independent small businesses find it difficult to remain financially viable.
- As such the application site and all its associated essential services, grocery shopping, café and wellbeing centre support the local community as well as its visitors.
- At a time when the rural economy is under so much pressure, surely refusing this application could possibly undermine the viability of the very services relied on by the local community.
- Enable the continued provision of community support.
- Provide much needed employment opportunities and greater consistency of visitor revenue throughout the year.
- Aesthetically, believe the lodges will be a significant improvement on the current multi style and colour caravans and awnings.
- Do not believe that there would be any great difference in vehicle movements.
- In fact benefit could arise from less larger vehicles using the local road network.
- Design, materials, character of the area and need.

**6.4 2 letters on behalf of the occupants of Hill Side Farm – Comment (summarised).**

- The north and north east boundary position is incorrect and includes land owned by Doctors Hill Farm.
- The Gas storage (NE) facility has been sited on land owned by Doctors Hill Farm.
- Support for the application is subject to the application site remaining as a 'family' site.

*Case officer note: Since the receipt of the above representation, an amended site location plan excluding third party land was submitted and a new statutory publicity exercise was undertaken. The following comment was received in response:*

- This amendment overcomes our previous concerns.

**6.5 1 letter from the Romsey and District Society (Planning Committee) – Comment (summarised).**

- Wish to state that the usage should remain as holiday cottages and not be allowed to become permanent residential occupation.
- Occupation should be taken to improve the landscaping on the boundaries.

7.0 **POLICY**

7.1 Government Guidance

National Planning Policy Framework (NPPF)  
National Planning Practice Guidance (NPPG)

7.2 Test Valley Borough Revised Local Plan (2016) (TVBRLP)

Policy SD1: Presumption in Favour Sustainable Development  
Policy COM2: Settlement Hierarchy  
Policy COM14: Community Services and Facilities  
Policy LE18: Tourism  
Policy E1: High Quality Development in the Borough  
Policy E2: Protect, Conserve and Enhance the Landscape Character of the Borough  
Policy E5: Biodiversity  
Policy E6: Green Infrastructure  
Policy E7: Water Management  
Policy E8: Pollution  
Policy E9: Heritage  
Policy LHW4: Amenity  
Policy T1: Managing Movement  
Policy T2: Parking Standards  
Policy CS1: Community Safety

7.3 Neighbourhood Plan

Draft Sherfield English Neighbourhood Plan

*Case officer comment: The Sherfield English Neighbourhood Plan has not yet at the time of writing progressed to public consultation on draft policies and therefore, cannot be afforded any significant weight in the assessment of this planning application.*

7.4 Supplementary Planning Documents (SPD)

Sherfield English Village Design Statement (2015)

8.0 **PLANNING CONSIDERATIONS**

8.1 The main planning considerations are:

- Principle of development
- Impact on the character and appearance of the area
- Ecology
- Water Management
- Impact on the general amenity of the area
- Heritage
- Impact on the amenity of residential property
- Highways
- Crime and community safety
- Conditions
- Other Matters

## 8.2 Principle of development

Policy COM2 of the TVBRLP states that development outside the boundaries of settlements will only be permitted if:

- a) *It is appropriate in the countryside as set out in the RLP Policy COM8 – COM14, LE10, LE16 – LE18; or*
- b) *It is essential for the proposal to be located in the countryside*

## 8.3 Policy LE18

Policy LE18 is one of the policy exceptions listed under criterion (a) of Policy COM2 and relates to tourism development, stating as follows:

*Proposals for tourist development will be permitted provided that:*

- a) *the proposal is located within a settlement; or*
- b) *where the proposal is located within the countryside:*
  - i) *it utilises an existing building and meets the requirements of policy LE16; and*
  - ii) *any extension or new buildings form part of an existing tourist facility; and*
  - iii) *in the case of seasonal structures these are temporary in nature and do not have an adverse impact on the landscape; and*
  - iv) *in the case of touring caravans and camping sites these are not prominent in the landscape.*

*Proposals which involve the loss of serviced accommodation (Class C1) and non-serviced tourist accommodation, including caravan and camping sites, will only be permitted provided that it can be demonstrated that the existing living accommodation unit is no longer economically viable or required.*

## 8.4 Criterion (b) (i) and (ii)

In this instance, the application site is located within land designated as countryside and therefore, criterion (b) of Policy LE18 is applicable. The proposed development does not comprise the erection of buildings and is limited to a change of use of the land with associated landscaping works. As a result, criterion (b) (i) and (ii) are not applicable in this instance.

## 8.5 Criterion (b) (iii)

As set out in paragraph 3.3 above, the lodges themselves do not form part of the planning application. In addition, the supporting statements submitted with the application assert that the proposed change of use will enable the use of lodges all year round rather than on a seasonal basis. The Planning Policy Officer has commented that criterion (b) (iii) is limited to those proposals including seasonal structures such as marquees. Consequently, it is not considered criterion (b) (iii) is applicable in this instance.

8.6 *Criterion (b) (iv)*

The proposed lodge pitch locations are predominantly positioned within the existing pitch and caravan storage areas with a modest incursion onto land currently in use as the recreational space of the application site. All of the pitches are located within the wider caravan park that constitutes an existing tourism site. Following the assessment undertaken below in the section titled 'Impact on the character and appearance of the area', it is not considered that the proposed development will result in any visual intrusion or undue prominence within the wider landscape. Consequently, it is considered that the proposal complies with criterion (b) (iv).

8.7 *Loss of accommodation*

Third party representations have referred to the final paragraph of Policy LE18 and the absence of any viability assessment in response to the anticipated total reduction in pitches and overall visitor numbers as set out in the Appropriate Assessment. However, it is clear that this policy requirement is only triggered in the event that the proposed development results in the total loss of an existing tourism facility, rather than the redevelopment of an existing facility which is the case in this instance. Therefore, it is not considered necessary for evidence to be provided to demonstrate that the existing operation is no longer viable or needed.

8.8 *Conclusion on Policy LE18*

Following the assessment undertaken above, it is considered that the proposed scheme complies with the requirements of criterion (b) of Policy LE18 and therefore, is in accordance with the Policy as a whole.

8.9 Policy COM14

The submitted information also refers to Policy COM14 in the context of the existing shop and post office onsite and their use by the wider community. However Policy COM14 is only applicable in the instance that the development proposed will result in the loss of existing facilities and the proposed masterplan demonstrates that the existing shop and post office will be retained onsite. As a result, it is not considered that Policy COM14 is applicable in this instance.

8.10 Policy LE16

Third party representations have raised concern that the proposed development does not comply with Policy LE16 but it is not necessary for the proposal to comply with more than one policy exception to be considered acceptable in principle.

8.11 Need and sustainability

Objections have been raised on the basis that the need for the amount and type of accommodation that the pitches provide for has not been demonstrated and is unlikely to be required given the experiences of other similar sites within the locality. However, it is not necessary to make the proposal acceptable in planning terms for the need or viability of the proposed development to be demonstrated.

- 8.12 Furthermore, with regard to the locational sustainability of the proposed development, the application site is located within an existing, established tourism site with onsite ancillary facilities. It is therefore considered that the proposal is consistent with the principles set out in paragraph 84 of the NPPF which support the provision of sustainable rural tourism. Although the supporting information provided by the applicant in relation to the potential creation of additional jobs is noted, given the compliance with the relevant planning policy set out above, the conclusion on the acceptability of the proposal in principle does not rely on the delivery of the reported employment levels.
- 8.13 Third party representations have also commented that the proposed development will result in a negative impact on the social cohesion of the local community and create a future social problem. However, given that the proposed development is solely limited to the redevelopment of an existing tourism site, it is not clear how this would be incurred or a direct consequence of granting planning permission.
- 8.14 Sherfield English Neighbourhood plan  
Reference has been made within third party representations to the Sherfield English Neighbourhood Plan but this has not progressed to the formulation of a draft plan and therefore, cannot be given any significant weight in the assessment of the planning application.
- 8.15 Conclusion on the principle of development  
Following the assessment undertaken above, it is concluded that the proposed scheme complies with Policy LE18 as one of the policy exceptions listed under criterion (a) of Policy COM2 of the TVBRLP. As a result, the principle of development is considered acceptable and an assessment against the other material considerations is undertaken below.
- 8.16 **Impact on the character and appearance of the area**  
Design and Landscape  
Policy E1 requires that the design of development is high quality and respects the character of the area, stating as follows:

*Development will be permitted if it is of a high quality in terms of design and local distinctiveness. To achieve this development:*

- a) should integrate, respect and complement the character of the area in which the development is located in terms of layout, appearance, scale, materials and building styles;*
- b) should not detract from the dominance of, or interrupt important views of, key landmark buildings or features;*
- c) should be laid out to provide connectivity between spaces and a positive relationship between public and private spaces; and*
- d) makes efficient use of the land whilst respecting the character of the surrounding area and neighbouring uses.*

*Development will not be permitted if it is of poor design and fails to improve the character, function and quality of the area.*

- 8.17 *Policy E2 relates to the impact of development on the wider landscape, stating as follows:*

*To ensure the protection, conservation and enhancement of the landscape of the Borough development will be permitted provided that:*

- a) it does not have a detrimental impact on the appearance of the immediate area and the landscape character of the area within which it is located;*
  - b) it is designed and located to ensure that the health and future retention of important landscape features is not likely to be prejudiced;*
  - c) the existing and proposed landscaping and landscape features enable it to positively integrate into the landscape character of the area;*
  - d) arrangements for the long term management and maintenance of any existing and proposed landscaping have been made;*
  - e) it conserves the landscape and scenic beauty of the New Forest National Park or the North Wessex Downs Area of Outstanding Natural Beauty where applicable; and*
  - f) does not result in the loss of important local features such as trees, walls, hedges or water courses.*
- 8.18 In this instance, the application site is accessed by Branches Lane which runs parallel to the western boundary of the application site. Currently, the vegetation at the southern end of the application site is not as substantial or mature then the planting at the northern end of the application site. As a result, clear views into the existing site are available when travelling along Branches Lane from the south with tents and caravans visible when the pitches are in use.
- 8.19 It is noted that the landscape character area appraisal that covers the majority of the application site (character area no. 3B) identifies visually intrusive caravan parks as a key detractor and therefore, the existing clear views into the application site are considered visually detrimental to the existing landscape character.
- 8.20 From positions on Branches Lane to the north of the vehicular access point and along Doctors Hill, which runs parallel to the northern boundary of the application site, the existing vegetation serves to limit views to glimpses of the tents and caravans stationed on the land.
- 8.21 In support of the application, a landscape visual assessment was provided. Some local residents dispute the conclusions reached in this document and in response a landscape visual assessment was prepared on their behalf as a rebuttal to the conclusions and assertions made within the applicant's submission. The submitted assessments include a number of other vantage points, but these are limited in terms of visibility and are typically from a significant distance away from the application site. As such, it is considered that the impact of the proposal on views available from travelling along Branches Lane and Doctors Hill are the most significant to the appearance and landscape character of the area.



- 8.22 Following initial feedback to the proposed development, the proposed planting on the western boundary of the application site has been revised and strengthened. Following the amendments, the proposed planting at the southern end of the western boundary comprises several trees and a substantial belt of additional hedgerow planting. Consequently, following the initial establishment phase, it is considered that the proposed scheme contains sufficient planting to ensure that only glimpse views of the application site will be possible when travelling along Branches Lane.
- 8.23 In addition, the proposed landscaping scheme includes additional planting at the northern end of the application site and this will serve to enhance the existing vegetation at this part of the western boundary.
- 8.24 Local residents have concerns about the proposed landscaping measures with particular reference to the proposed non-native species and the impact this will have on the local character of the area. They were also of the view that the quantity of landscaping was insufficient. However, the objective of the proposed planting is to screen rather than completely obscure views of the application site from the public realm. The additional planting is considered to achieve this aim particularly following an initial establishment phase, as it comprises a continual hedgerow supplemented by individual tree planting within it. The submitted planting plan for this section of the proposed landscape planting comprises a wide range of species but includes Common Oak, Common Hawthorn and English Elm species. As such, it is considered that the proposed species mix will incorporate characteristics of the local landscape.
- 8.25 It is also noted that the Landscape Officer has commented that there may be future pressure on the proposed tree planting given the spacing and proximity of the proposed pitches. However, given that the pitches are only to be used for tourism accommodation rather than permanent residential occupation and the ability for the applicant to undertake maintenance works and adjustments to the positioning of the lodges, it is not considered that this concern justifies a basis for refusing the planning application.
- 8.26 It is likely that the lodges occupying the proposed pitches will be taller than the existing caravan and tent units but equally, it is also likely that the final finish of the lodges will be in muted tones rather than the predominantly white toned caravans. To prevent the possible appearance of a continual block of lodges positioned end to end and adjacent to Branches Lane, the proposed pitches at the western end of the application site have been arranged so that the side elevations face the public highway. This arrangement is similar to the existing layout and will ensure that there is visual separation between each lodge or unit. Furthermore, the overall pitch numbers at the western end of the application site is also comparable to the existing arrangement. Therefore, it is not considered that the density and arrangement of the proposed pitches is unacceptable.
- 8.27 Consequently, it is considered that subject to conditions securing the specification, implementation and maintenance details of the other landscape planting positioned away from the western boundary, the proposed scheme will avoid any visual intrusion within the wider landscape.

- 8.28 In relation to the appearance of the access tracks and other internal landscaping works, this will be similar in nature and appearance to that of the existing infrastructure onsite with views predominantly contained within the application site. Therefore, subject to the imposition of a condition securing the final specification details of the hard surfacing, it is considered that the design and layout of the proposal will integrate with the appearance of the existing tourism site and not serve to harm the character of the area.
- 8.29 Village Design Statement  
Third party representations have drawn attention to the guidance within the Sherfield English Village Design statement (VDS) commenting that the proposal is contrary to the guidance set out as guidance notes number 1, 2, 3 and 6.
- 8.30 Guidance note 1 of the VDS identifies the parish settlement pattern as primarily comprising of dispersed hamlets and scattered dwellings. Guidance notes 2, 3 and 6 relate to the positioning of dwellings and roads in relation to one another.
- 8.31 However, the proposed scheme does not include the provision of new buildings, residential dwellings or new public highways and only comprises pitches for tourism accommodation with associated landscape works. As a result, it is not considered that the proposed development is contrary to any of the guidance contained within the VDS.
- 8.32 Trees  
In support of the application, an arboricultural survey and impact assessment was submitted, assessing the condition of the existing trees onsite and the potential impact of the proposed development. The submitted assessment identified that the proposed scheme will not result in the loss of any high quality trees of public amenity value, with tree removal limited predominantly to the existing trees at the centre of the application site.
- 8.33 To achieve this outcome, pitches partially within the root protection areas of the retained trees will require a no dig construction method to avoid any accidental damage during the construction phase. Precise details of the no dig construction method have been secured through the imposition of a condition. Third party representations have raised concern that there are existing pitches located within the root protection areas of mature trees, but this is not relevant to the assessment of the current proposal.
- 8.34 To offset the loss of the existing trees, the proposed soft landscaping works on the western boundary of the application site includes replacement tree planting with details of planting and maintenance secured by the imposition of conditions.
- 8.35 Consequently, it is not considered that the proposed scheme will result in an unacceptable arboricultural impact.

8.36 Green Infrastructure

The response from the Planning Policy officer draws reference to Policy E6 of the TVBRLP which relates to the protection of areas of land such as designated ecology sites, public open space and allotments. As discussed in the section titled 'Ecology' below, it is considered that the proposal will avoid any adverse impact on designated ecology sites. Furthermore, the proposal will not result in the loss of any public open space or sites important for nature conservation. Consequently, it is considered that the application is in accordance with Policy E6 of the TVBRLP.

8.37 Conclusion on the impact on the character and appearance of the area

Following the assessment undertaken above, it is considered that the proposed development will avoid any materially significant harm to the visual and landscape character of the area as well as existing green infrastructure. Consequently, the application is in accordance with Policies E1, E2 and E6 of the TVBRLP.

8.38 **Ecology**

Onsite impacts

In support of the application, a preliminary ecological appraisal (Arbtech) has been provided and subsequently amended in response to initial comments from the Council's Ecologist. The submitted assessment identifies the conditions onsite and the potential impact on protected species and habitats, as summarised below.

8.39 *Bats*

The proposed development will not result in any tree loss within the existing woodland area (Doctors Copse SINC) located in the south-east corner or serve to remove any loss of mature trees positioned on the boundaries of the application site. As such, it is not considered that the proposed development will result in the loss of bat roosting habitats within the existing woodland areas.

8.40 As identified above in the section titled 'Trees', the proposal will result in the removal of existing trees located within the central areas of the application site, predominantly comprising of younger trees sporadically positioned through the existing informal amenity area. Any potential loss of habitat arising from the removal of these trees will be mitigated against through the provision of replacement planting and installation of bat boxes within the existing woodland areas. After reviewing the submitted information, the Ecologist raised no objection to this approach.

8.41 *Birds*

The proposed tree removal in the centre of the application has the potential to result in the loss of suitable habitat for breeding birds. To mitigate against this potential loss of habitat, it is proposed for additional bird boxes to be provided onsite and any for any onsite tree clearance works to be undertaken outside of bird breeding season.

8.42 *Dormice*

The submitted assessment identifies that as the proposed scheme will avoid the loss of any suitable existing habitat for dormice. Therefore, it is considered that the proposal will not adversely impact this protected species. No objection was raised by the ecologist to this conclusion.

8.43 *Reptiles and amphibians*

Due to current nature of the application site comprising existing pitches and managed lawn areas, it is not considered that the proposed scheme will serve to result in a loss of suitable habitat or for reptiles or amphibians.

8.44 *Conditions*

As recommended by the ecologist, a condition has been imposed securing the submission of a construction environment management plan and ecological management plan to ensure that there is no harm arising from the implementation phase of the proposed development or the subsequent operation of the application site in relation to Doctor's Copse SINC.

8.45 In addition, a condition has been imposed to secure the development is undertaken in accordance with the recommendation of the submitted ecology reports and the final specification and location details of the proposed biodiversity enhancement measures.

8.46 To ensure that any external lighting to be installed onsite does not serve to adversely impact protected species such as bats during hours of darkness or winter months, a condition has been imposed securing the submission and approval of specification details prior to installation. This will allow an assessment of whether the lighting specification follows best practice guidance on minimising the impact of lighting on areas where bats and other protected species are present.

8.47 *Third party representations*

Third party representations have raised concern that the proposed scheme will result in the reduction of the existing amenity greenspace in the centre of the application site, but the submitted ecology assessments demonstrate that this will not serve to result in an overall loss of habitats onsite for protected species.

8.48 In addition, concern has been raised in relation to the absence of any assessment of an existing wetland and wildlife copse with a pond, on land forming part of the adjoining Pound Farm holding. However, given the assessments undertaken at the application site and that the proposed development is contained within the existing tourism site, it is not considered necessary for additional survey work of this offsite feature to be undertaken. Similarly, the reported sightings of other species such as deer and slow worms are noted but it is considered that the submitted survey work and recommended enhancement measures, such as the provision of additional planting and wildflower area is sufficient, to ensure that there is no materially significant harm to those species.

- 8.49 Reference has been made to the omission of the River Test SSSI within the Appropriate Assessments undertaken however the application site is not located within the SSSI area.
- 8.50 Impact on Designated Sites: Mottisfont Bats SAC and Doctor's Copse SINC  
The application site is located within the buffer zone of the Mottisfont Bats SAC. In addition, as aforementioned, the wider application site includes the Doctors Copse SINC. It has been assessed that the proposed development will remain unaffected due to the containment of the proposed development within the existing tourism site. However, there is also potential for an indirect impact through the deterioration of potential important local foraging habitat such as deciduous woodlands in proximity to water bodies and the Doctors Copse SINC qualifies as such a woodland.
- 8.51 However, with the imposition of a condition to secure and control the specification and positioning of any external lighting in conjunction with the retention of the existing mature woodland areas onsite, it is not considered that the proposal will result in any indirect harm to potential important local foraging habitat either to the Doctors Copse SINC or other mature woodlands in the locality. As a result, the proposed development will avoid any harm to the designated Mottisfont Bats SAC.
- 8.52 Offsite Impact on Designated Sites: Recreational Pressure  
*New Forest SPA*  
The proposed development is within 15km of the New Forest SPA site. In accordance with advice from Natural England and as the HRA of the Test Valley Borough Local Plan DPD, a net increase in development for overnight accommodation within 15km of the New Forest SPA site is likely to result in impacts to the integrity of those sites through a consequent increase in recreational disturbance. Since the adoption of the Local Plan, a review of the underlying evidence supporting the New Forest Interim Mitigation Strategy has been undertaken and a new Supplementary Planning Document (SPD) is currently going through public consultation. In any event, the application site is located within the buffer zone of the New Forest SPA, as identified by the interim framework and the draft SPD document.
- 8.53 Development within the identified zone that serves to increase the human population around the New Forest and thus can increase the level of recreation and disturbance of bird populations that are qualifying features of the associated SPA. The impacts of recreational disturbance (both at the site-scale and in combination with other development around the New Forest) are analogous to impacts from direct habitat loss as recreation can cause important habitat to be unavailable for use. The habitat is functionally lost, either permanently or for a defined period. Birds can be displaced by human recreational activities and use valuable resources in finding suitable areas in which to breed undisturbed. Ultimately, the impacts of recreational disturbance can be such that they affect the status and distribution of key bird species and therefore act against the stated conservation objectives of the European sites. As a result, the Local Planning Authority's Ecologist has raised this as a material consideration in the assessment of the proposed development site.

8.54 *Current Operation*

In this instance, the application site currently benefits from a number of extant planning permissions for tourist use which comprise 100 camping pitches limited to 245 days of the year in addition to 43 pitches limited to 21 days of the year. By comparison, the proposed development would result in the use of this land for the placement of 80 lodges. Although it is acknowledged that the number of units is being reduced, the proposal will result in a different type of accommodation being provided onsite and it is therefore considered necessary to review the potential impact on overall visitor numbers.

8.55 *Previous Appropriate Assessments*

Previously the Local Planning Authority (LPA) completed an appropriate assessment based on industry averages from tourism board surveys in relation to different types of accommodation. However, it is accepted that the complete reliance on tourism averages without any reference to bespoke data for the application site was open to challenge and not sufficiently robust to be considered a precautionary approach as required by the Habitats Regulations.

8.56 In response to this issue, it has been identified that an assessment based on data bespoke to the application site is more robust than the reliance on generic tourism averages and therefore, the LPA's assessment set out below is based on and informed by real life data collected from the historic operation of the application site. Subsequent to the initial Appropriate Assessment, the Local Planning Authority undertook a second Appropriate Assessment dated January 2022 based predominantly on the data from the applicant's booking system. Natural England responded on the 10<sup>th</sup> February concluding that further information was required. Following on from this response, the LPA undertook a new Appropriate Assessment dated August 2022, which in part draws on the additional analysis provided by the applicant, to respond to the points raised within Natural England's previous response.

8.57 *Available data*

The applicant has previously provided the historical data collected from the internal booking system and this data covers the period from 2010 to the present day. This booking data comprises the number of bookings, the type of accommodation occupied and the number of people per booking. Due to the sensitive nature of the raw booking data it is not possible to publish this publically.

8.58 On receipt of the raw booking data from the applicant, the LPA selected a calendar year at random (2014) and requested the supporting data for this year in order to check the occupation averages provided by the applicant against the raw booking data. On tab A of the LPA's calculations the individual booking group size has been recorded without sensitive information such as the name of the individual included.

- 8.59 Following the review of the 2014 data it was confirmed that the average occupancy per unit for that year, as calculated by the planning agent and set out on attachment 3 of the appellant's calculations, did indeed match the raw booking data. Natural England have previously suggested undertaking this exercise for a more recent year but this data has not been provided to the LPA and so an assessment has been undertaken on the basis of the available information.
- 8.60 *Calculation of population per unit for existing scenario*  
The proposed development will serve to replace the existing touring pitches rather than the existing static caravan's onsite and therefore, it is the average of the touring pitches that has been taken forward as the basis of the calculation for the existing visitor population. The resulting figure is an average of 2.65 people per pitch when calculated across the whole dataset of 10 years, as summarised on tab B of the LPA's calculations.
- 8.61 Following the review undertaken by the LPA of the raw booking data for 2014 as set out above, it is considered that an average of 2.65 is sufficiently precautionary, particularly given that 2.65 is less than the average recorded in the most recent years (2020 and 2021) and therefore, does not represent the highest recorded occupancy average. As a result, the LPA has also taken forward the average of 2.65 people for the calculation of the existing population as set out on tab C of the LPA's calculations.
- 8.62 *Calculation of population per unit for future scenario*  
In order to calculate an average population figure for the proposed lodges, the applicant's agent has referred to the historic data collected for the existing static caravan's onsite and identified the highest average recorded of 2.5 people per static caravan as set out on tab B of the LPA's calculations. It is acknowledged that the data only relates to a limited number of static caravans but notwithstanding this point, the data represents historic data bespoke to the application site and is the highest recorded average for this type of accommodation. An average of 2.5 is higher than the average household size of 2.4 people per household utilised by Natural England's standard methodology guidance for calculating nutrient neutrality for new residential dwellings. The LPA has therefore taken forward this average when calculating the population per unit for the proposed lodges as set out on tab C of the LPA's calculations.
- 8.63 *Calculation of seasonal occupancy rates*  
Following the receipt of the raw booking data the LPA also took the opportunity to review the seasonal occupancy rates using real life data and this analysis is set on tab A of the LPA's calculations. The theoretical capacity of the application site was calculated by referring back to the limitations currently imposed on each part of the site multiplied by the number of unit days in each calendar month. For the Willows overflow section, units occupying this part of site are limited to a total of 21 days in a calendar year between the months of April and September. As a result, 21 unit days has been evenly divided between the months of May, June, July and August.

- 8.64 With regard to calculating a seasonal occupancy rate for the months of January, February, November and December in the absence of any real life data, a combined average for March and October has been used. This equates to a 5.7% occupancy rate. Although these months do not represent the high season, given the worsening weather conditions during winter months, it is considered that in all likelihood the use on an average from late autumn/early spring is likely to be a modest overestimation of the visitor population and therefore is sufficiently robust.
- 8.65 It is acknowledged that previously the LPA used an average of March, April, September and October to identify an average for the winter months with no available historical data. However, given the analysis set out in the LPA's calculations with regard to the national profile of seasonal occupancy, it is considered that the previous combination of averages was unreasonable and resulted in a significant overestimation of the occupancy through winter. As such, the combination of March and October, is considered to represent a more robust approach.
- 8.66 *Solent and Southampton Water SPA*  
The application site is located outside of the 5.6km buffer zone of the Solent and Southampton Water SPA and therefore, it is not considered that there would have been any additional impact arising from recreational pressure.
- 8.67 *Conclusion*  
There is a variation between the applicant's calculation when compared to the LPA's calculation, predominantly due to the application of real life rather than tourism industry averages for the seasonal occupancy within the LPA's calculation. However, the LPA's calculation concludes that the proposed development will result in a net reduction of 1,036 visitors overall and therefore, it is concluded that there will be no likely significant impact on the designated SPA arising from additional recreational pressure.
- 8.68 Natural England responded to the Appropriate Assessment undertaken on the 22<sup>nd</sup> August 2022 raising no objection with the following comment:

*Bespoke Occupancy Figures*

*We note that a bespoke occupancy figure has been used in the calculation based on historical, site-specific data from Hill Farm Caravan Park in 2014. Provided that you, as Competent Authority, are satisfied the occupancy rates used in the budget are suitably precautionary and justified with sound evidence, Natural England's (sic) raises no further issue.*

- 8.69 On this matter, it is noted that there have been considerable representations objecting to the data reported by the applicant and the LPA's method of calculation. However, it is considered that the use of the historical data bespoke to the application site represents the most scientifically robust evidence, in comparison to tourism industry averages formulated from national surveys that do not account for the individual characteristics of the application site. Where historical bespoke data cannot be relied upon, for example in the



case of calculating winter months occupancy that the application site does not currently operate within, then an approach informed by third party data has been adopted. It is considered that this approach is as precautionary as possible within the parameters of the planning system.

8.70 It is noted that concerns have also been raised in relation to the small number of existing caravans that the bespoke occupancy data has been generated from. In response to a request to the applicant for further evidence to be provided, it has been confirmed that no further data will be provided. The Local Planning Authority must therefore proceed on the basis of the information currently available.

8.71 Offsite Impact on Designated Sites: Nutrient Loading

*Solent and Southampton Water SPA/Ramsar, Chichester and Langstone Harbours SPA/Ramsar, Portsmouth Harbour SPA/Ramsar, Portsmouth Harbour SPA/Ramsar*

There is existing evidence of high levels of nitrogen and phosphorus in the water environment across the Solent, with evidence of eutrophication at some designated sites. An Integrated Water Management Study for South Hampshire was commissioned by the Partnership for Urban South Hampshire (PUSH) Authorities to examine the delivery of development growth in relation to legislative and government policy requirements for designated sites and wider biodiversity. This work has identified that there is uncertainty regarding whether any new housing development does not contribute to net increases in nutrients entering these designated sites.

8.72 As such, the emerging advice from Natural England is that the applicants for development proposals resulting in a net increase in dwellings or units of overnight accommodation are required to submit the nitrogen budget for the development to demonstrate no likely significant effect on the European designated sites due to the increase in waste water from the new housing. Although it has been identified in the preceding sections that the proposed development will not trigger an increase in population, given the potential for changes to water consumption and land classification within the application site, it is considered necessary to assess the potential impact on nutrient loading.

8.73 Although it has been identified in the preceding sections that the proposed development will not trigger an increase in population, given the potential for changes to water consumption and land classification within the application site, it is considered necessary to assess the potential impact on nutrient loading.

8.74 *Foul Drainage Provision*

The application site is currently served by a package treatment plant and as confirmed on page 3 of the applicant's calculations, this will be retained and maintained in accordance with the current maintenance arrangements undertaken onsite. In accordance with Natural England's latest guidance and version of the budget calculator, a default of 70.9 mg/TN/litre figure has been used.

8.75 *Water usage*

As the application site comprises a variety of additional operations beyond the provision of pitches for tents and touring caravans, such as the caravan sales yard and the existing static caravan's onsite that will be retained, it is not possible to identify the precise historic water usage generated by the occupation of the touring pitches.

8.76 Instead, the assessments undertaken by both the applicant and the LPA have applied the BS 8551:2015 as the standard for temporary water supply that ascribes the following values for different types of accommodation; tent (70 litres per person per day), static caravan not serviced (100 litres per person per day) and chalet (227 litres per chalet per day equivalent to 90.8 litres per person per day when using an average occupancy of 2.5 people per unit). These values with the addition of the 10 litre precautionary buffer have been used.

8.77 *Population numbers*

The population figures to inform the LPA's nutrient budget calculations have been informed by the visitor number analysis set out above in relation to recreational pressure and it is therefore confirmed that this data has been used for both elements of the Appropriate Assessment.

8.78 *Proposed budget*

The LPA's calculation identifies the nutrient budget to be generated by the proposed development. The 7,548 visitor number identified previously in the visitor analysis has been divided by the number of calendar days (365.25) to provide a daily total average of visitors' onsite for all of the proposed lodges. This results in an average occupancy of 20.67 people per day for the purpose of the calculator. There are 80 total lodges and therefore a total occupancy rate of 0.26 (21.25 people / 80 units) per day has been used.

8.79 The water usage has been calculated as 91 litres per person per day (calculated as 227 litres per chalet / 2.5 occupancy per unit), with the additional 10 litre buffer resulting in an overall total of 101 litres per person per day. Following the use of the above inputs, a total nutrient budget of 74.17 Kg/TN/yr has been identified for the existing use of the application site.

8.80 *Conclusion*

The proposed development will result in an overall net reduction of 0.89 Kg/TN/yr. As a result, it is concluded that the proposed development will not result in a likely significant impact with regard to additional nitrate loading.

8.81 Natural England responded to the Appropriate Assessment undertaken on the 22<sup>nd</sup> August 2022 raising no objection and in addition to the previous comment on the bespoke occupancy figures set out in paragraph 8. above, provided the following comment:

### Water Consumption Rates

*It is noted bespoke water usage figure has been used to inform the nutrient budget and are based on British Standard 8551:2015 that provides a standard temporary water supply for tents, touring caravans and chalets.*

*We understand a precautionary 'buffer' has been applied to account for the variation in tent and caravan numbers over previous year and lowers the existing water usage rate to ensure a substantial buffer is included in the nutrient calculation. This 'buffer' has been used in addition to the 10l precautionary buffer advised by Natural England in relation to our updated guidance on nutrient neutrality.*

*Provided that you, as Competent Authority, are satisfied the water usage figures used in the budget are suitably precautionary and justified with sound evidence, Natural England's (sic) raises no further issue.*

### Package Treatment Plant

*The proposed development will be served by the existing PTP onsite and we understand the PTP will continue to be maintained under the current maintenance arrangements.*

- 8.82 For the rationale set out above, it is considered that the use of bespoke water efficiency rates represents the most scientifically robust approach given that the rates account for the individual characteristics of different accommodation types. As discussed below in the section titled 'Water Management', as the lodges themselves do not form part of the planning application, it is not possible to impose a condition securing water efficiency rates. However, as noted above, the calculation undertaken includes a 10 litre precautionary buffer in accordance with the Natural England standard guidance. As such, it is considered that the approach and calculation undertaken is sufficiently robust and precautionary.
- 8.83 In relation to the package treatment plants, it has been confirmed by the planning agent that the existing infrastructure is sufficient to accommodate the proposed development. Given that the proposal will result in an overall reduction in the total number of pitches onsite and more even distribution of visitors from the change to a year round operation, this is not considered an unlikely prospect. In the event that the existing package treatment plants are do not have sufficient capacity to accommodate the proposed development, then control under separate legislation is available to ensure that sufficient provision is made available onsite.
- 8.84 Conclusion on ecology  
Following the assessment undertaken above, it is considered that the proposed scheme will avoid any adverse impact on protected species and habitats in addition to offsite designated areas. Consequently, the application is in accordance with Policy E5 of the TVBRLP.

8.85 **Water Management**

Policy E7

Policy E7 relates to water management and states as follows:

*Development will be permitted provided that:*

- a) it does not result in the deterioration of and, where possible, assists in improving water quality and be planned to support the attainment of the requirements of the Water Framework Directive;*
- b) it complies with national policy and guidance in relation to flood risk;*
- c) it does not result in a risk to the quality of groundwater within a principal aquifer, including Groundwater Source Protection Zones and there is no risk to public water supplies;*
- d) all new homes (including replacement dwellings) achieve a water consumption standard of no more than 110 litres per person per day; and*
- e) all new non-residential development of 500sqm or more achieve the BREEAM 'excellent' credit required for water consumption (reference Wat 1).*

*Criteria d) – e) need to be satisfied unless it can be demonstrated that it is not financially viable.*

8.86 *Criterion (a)*

In support of the application a surface water and foul drainage assessment was submitted, with an additional addendum provided in response to initial comments provided by the Local Lead Flood Authority (hereafter LLFA). The submitted assessment identifies that surface water run-off from the associated lodges will be accommodated through the use of permeable paving for the proposed car parking area and internal access roads. The LLFA have raised no objection to this proposed arrangement subject to the imposition of conditions securing details of any technical alterations that arise from the implementation stage as well details of the maintenance and ongoing management measures.

8.87 It is also noted that Southern Water have requested the input of Building Control officers on the design of the proposed drainage strategy but given the reviews undertaken by the LLFA and the EA, it is not considered necessary for any further input at this stage. Any requirements under Building Control legislation remain applicable as a separate process to the assessment of the planning application.

8.88 As discussed in further detail on the section titled 'Impact on the general amenity of the area' below, any wastewater generated from the proposed change of use will be served by the existing package treatment plants onsite. The Environment Agency have raised no objection to this arrangement with reference drawn to the permitting process that is a requirement separate to the assessment of the planning application.

- 8.89 Therefore, it is considered that the proposed surface water and foul water drainage system is sufficient to avoid any adverse impact on water quality, in accordance with criterion (a).
- 8.90 *Criterion (b)*  
The application site is located within Flood Zone 1 and therefore, it is considered that the proposed development complies with national flood risk policy and guidance, in accordance with criterion (b).
- 8.91 *Criterion (c)*  
As noted above in relation to the assessment against criterion (a), the application is supported by technical documents that detail the provision of an acceptable surface water drainage strategy. Furthermore, it is noted that the application site is not located within a groundwater source protection zone. Consequently, it is not considered that the proposed scheme will result in a risk to the quality of groundwater within a principal aquifer or trigger an adverse risk to public water supplies. As such, the proposal complies with criterion (c).
- 8.92 *Criteria (d) and (e)*  
As aforementioned, the proposed scheme does not include the installation of lodges or any other type of tourism accommodation unit. Therefore, it is not possible to impose any conditions requiring the achievement of the corresponding water efficiency standards. Consequently, criteria (d) and (e) are not applicable in this instance.
- 8.93 *Conclusion on Policy E7*  
Following the assessment undertaken above it is considered that the proposed scheme is in accordance with Policy E7 of the TVBRLP.
- 8.94 It is noted that Southern Water have commented on the potential presence of a public sewer in proximity to the proposed development, this is a matter for the applicant to pursue with the relevant third parties outside of the assessment of the planning application.
- 8.95 Third party representations have raised concern in relation to the potential impact on water supply but in the absence of any objection or concerns raised by Southern Water in relation to this aspect, then it is considered that there will be no material harm to local water supply. In addition, the request for the incorporation of measures to recycle grey and rain water is noted but it is not necessary to secure these measures to make the proposal acceptable in planning terms.
- 8.96 **Impact on the general amenity of the area**  
Policy E8 relates to the potential for pollution and states as follows:  
  
*Development will be permitted provided that it does not result in pollution which would cause unacceptable risks to human health, the natural environment or general amenity.*

*Development that would or could potentially generate pollution will only be permitted if it can be demonstrated that there would not be any adverse impact on human health, the natural environment or general amenity.*

*Development which is sensitive to pollution will only be permitted if the intended users are not subject to unacceptable impact from existing nearby uses having taken account of proposed mitigation measures.*

8.97 Foul drainage

In the absence of any connection to mains drainage, the proposed scheme will be served by the existing package treatment plants onsite. As aforementioned, it is considered that this is not considered to be an unlikely prospect given the scale of the existing tourism facility and the anticipated modest reduction in overall visitor numbers as set out in the ecology section above.

8.98 However, even in the event that existing infrastructure fails to sufficiently accommodate the wastewater drainage generated by the proposed development then controls through other legislation such as the EA licencing process are available. As such, it is considered that the proposal will avoid an adverse polluting impact arising from the generation of wastewater.

8.99 Third party representations have raised concern that there have been previous incidents onsite of sewerage spillages but this does not undermine those controls available within other processes and legislation to ensure that the proposal avoids a materially significant polluting impact on the general amenity of the area.

8.100 Light

The submitted proposed site plan includes an indicative reference to bollard lighting located throughout the proposed pitch areas. To ensure that the proposed bollard lighting and any other external lighting does not result in an obtrusive light pollution on the general amenity of the area, a condition has been imposed securing the requirement for the specification details of any external lighting to be submitted and approved prior to installation.

8.101 Third party representations have raised concern that the proposal will result in light pollution resulting from light spill generated by internal lighting of the lodges but as discussed previously, the lodges do not form part of the planning application. Therefore, this matter does not represent a reasonable basis for refusing the planning application.

8.102 Noise

It is acknowledged that the proposal will result in the areas currently in use as caravan storage for additional pitches, but given that the existing storage use is likely to generate a level of noise from the periodic manoeuvring of caravans, it is not considered that the proposed use for pitches will result in a materially significant increase in noise levels for these areas. The remaining

pitches are either located on existing pitch areas or a significant distance away from any residential property or neighbouring uses of a noise sensitive nature. Consequently, it is not considered that the proposal will trigger additional noise pollution.

8.103 Smell

Given that the proposed development is limited to hard and soft landscaping works to facilitate the use of lodges rather than caravans and tents, it is not considered that the proposal will result in any material significant additional smell pollution on the general amenity of the area.

8.104 Impact on visitors

The provision of adequate amenities is covered by separate licencing legislation and therefore, does not form part of the assessment of the planning application.

However, the submitted masterplan demonstrates the retention of a sizeable informal recreation space located in the centre of the wider application site as well as indicating that each pitch will have a modest allocated area of open space. As such, it is not considered that the proposed layout will result in unacceptable conditions onsite for visitors of the application site.

8.105 Third party representations have also raised concern that the proposed scheme does not provide sufficient amenity space or intervening space between individual units in the event that a pandemic occurs. On this matter, it is noted that the proposed layout retains the allocation of individual pitches and therefore, it will be possible to isolate individual units should such an event occur. Consequently, it is considered that the proposed scheme will not be dissimilar to the existing layout and not undermine the ability to operate suitable precautions in the event of a pandemic.

8.106 Furthermore, concern has been raised in relation to the relationship between the proposed pitches at the southern end of the application site and the adjoining agricultural fields that form part of the holding known as Pound Farm. This concern has been raised in the context of the potential disturbance from activities such as grass cutting, odour, rats and biosecurity. However, the proposal is for tourism accommodation and therefore, the nature of any visits will be short term and there is unlikely to conflict between the two uses, particularly given the screening provided by the vegetation on the shared boundary.

8.107 Fire risk

Concern has also been raised that the proposal will trigger an additional fire risk through the potential increased use of barbeques onsite. However, the proposal only serves to reduce the overall number of pitches onsite and alter the nature of the operation from the existing seasonal pattern to all year round. It is therefore not considered that an additional fire risk will be triggered by the proposed scheme.

- 8.108 Conclusion on the impact on the general amenity of the area  
Following the assessment undertaken above, it is considered that the proposed development will avoid any materially significant polluting impact on the general amenity of the area and therefore, the application is in accordance with Policy E8 of the TVBRLP.
- 8.109 **Heritage**  
The residential property known as March End is located to the north-east of the application site and is Grade II listed. In addition, the residential property known as Old Roost Cottage is also Grade II listed and located to the north-west of the application site. Sections 16(2) and 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 require special regard to be had to the desirability of preserving the listed building or its setting or any features of special architectural or historical interest which it possesses. In addition, Policy E9 of the TVBRLP requires that development positively contributes to sustaining or enhancing the significance of the heritage asset.
- 8.110 In response to this matter a heritage statement was provided in support of the application, identifying that the proposed development would not directly intrude upon the immediate setting of either listed building with the proposed development contained within the existing tourism site. Due to the intervening distance and the retention of the existing vegetation on the boundaries of the application site, it is considered that the proposal will avoid any significant change to the existing relationship between the application site and either listed building.
- 8.111 Third party representations have raised concern that the proposed landscape planting is insufficient to prevent an adverse impact on the setting of the listed buildings, particularly in relation to Martins Roost. However, the purpose of the proposed landscaping is not to completely screen all views of the proposed development from the listed buildings but to ensure that it does not appear any more intrusive on the setting of the listed buildings than the existing relationship.  
Consequently, it is considered that the proposal will avoid any material harm to the special interest and historical significance of either listed building.
- 8.112 As a result of the assessment undertaken above, it is considered that the proposed scheme will preserve the special interests of both listed buildings and their settings. Therefore, the application is in accordance with Policy E9 of the TVBRLP.
- 8.113 **Impact on the amenity of residential property**  
Impact on neighbouring properties  
The proposed site plan demonstrates that the proposed pitches at the front (western end) of the application site will be in a similar arrangement to the existing layout. As such, it is not considered that the proposed scheme will result in any material loss of privacy or daylight and sunlight provision for the residential properties to the north-west of the application site.



- 8.114 In relation to potential impact on the existing dwellings positioned adjacent to the application site to the north-east (known as March End, Courtyard House, Pemberton Lodge and Doctor's Hill Farm), the proposal will result in the existing caravan storage areas at the rear (east) of the application site being used as pitch locations. However, any associated lodge will need to comply with the height restriction set out in paragraph 3.3 above, and the existing vegetation on the boundaries of the application site provides significant screening. Therefore, in conjunction with the intervening distance and offset position of the proposed pitches in relation to these neighbouring properties, it is not considered that the proposal will result in any materially significant loss of privacy or daylight and sunlight provision.
- 8.115 Third party representations have also raised concern in relation to the potential impact on the open fields adjoining the application site to the south, but that this does not form part of any residential property, it is not considered that there will be any adverse impact on residential amenity.
- 8.116 Consequently, it is considered that the proposal sufficiently provides for the amenity of residential property in accordance with Policy LHW4 of the TVBRLP.
- 8.117 **Highways**  
Access  
The proposed scheme does not include any alterations to the existing vehicular access onto Branches Lane. The Highways Officer has reviewed the proposal and commented that the change of use to lodge accommodation is likely to result in a reduction in towed vehicles on the local road network when compared to the existing tent and caravan operation.
- 8.118 In terms of vehicle trip generation, as aforementioned above in the section on recreational pressure, it is anticipated that the proposal will result in less visitors overall. In addition, the reduction in the total number of pitches onsite and change to a year round operation rather than the current seasonal restrictions will allow for a more consistent trip generation profile throughout the year. Consequently, it is considered that the proposed scheme will avoid any materially significant increase in vehicle movements. It is noted that third party representations have raised concern that vehicles on Branches Lane cannot pass but it is evident from previous site visits that there are passing places available. Given the short distance between the application site and the junction with the A27, it is therefore not considered that there will be any significant material highway safety harm.
- 8.119 To ensure that there is no highway safety issue during the implementation stage, a condition has been added securing the submission of a traffic management plan to ensure that the alterations to the site layout and lodges are brought onto the application site in a phased manner. In addition, a condition has been imposed securing the laying out of the allocated parking spaces prior to the associated pitch being brought into use to ensure that there is no displacement of vehicles onto the public highway.

- 8.120 Third party representations have raised concern that the proposed development will require the installation of a pavement or footpath along Branches Lane but given the analysis set out above, it is not considered that this is reasonable to make the development acceptable or necessary in planning terms. Similarly, it is not considered that the proposal triggers any requirement for a financial contribution towards highway improvements.
- 8.121 As a result, it is considered that the proposed development will avoid any adverse impact on the highway safety of the local road network in accordance with Policy T1 of the TVBRLP.
- 8.122 **Parking**  
There are no minimum parking standards as set out in Annexe G of the TVBRLP that correspond with the type of development proposed in this instance. However, it is noted that the submitted proposed site plan demonstrates that each pitch will include two allocated parking bays. It is considered that the allocation of two parking bays per pitch is an acceptable provision that will avoid any the requirement for significant on street parking. As a result, the application is in accordance with Policy T2 of the TVBRLP.
- 8.123 **Crime and Community Safety**  
Third party representations have raised an objection on the basis of crime and community safety but in the absence of any specific concerns provided it is not clear what issues would arise. As the proposal is limited to the redevelopment of an existing tourism site, it is not considered that the proposal will trigger any adverse impact on community safety and therefore, the application is in accordance with Policy CS1 of the TVBRLP.
- 8.124 **Conditions**  
To ensure that the application site and proposed pitches are only used for the provision of tourism accommodation, conditions have been imposed preventing the occupation of the pitches as a main residence and requiring the applicant to maintain a register of visitors. These conditions will be applied in tandem with the completion of a legal agreement, discussed in the following section, to control the phasing of the development.
- 8.125 Third party representations have also requested the imposition of a condition setting a time based restriction on a single period of occupation with reference to a similar development at Winchester Golf Club. However, it is not considered necessary to set out particular restrictions on the length and frequency of occupation given the ability to monitor occupancy through the keeping of a register and the ability to ensure that the future occupancy is not the main place of residence. Concerns have also been raised that planning conditions will not be enforced as the lodges will be sold to third parties, but planning conditions run with the land and therefore, it is considered that the ownership of individual lodges will not prevent the ability to enforce those conditions proposed.

- 8.126 In addition to conditions relating to the use of the proposed development, further conditions have been imposed to secure the precise details and implementation of the proposed trees, landscape, ecology, drainage and highway measures.
- 8.127 **Legal agreement**  
As set out in paragraph 4.1, the application site is subject to a number of legal obligations setting out parameters for the capacity of each parcel of the application site as well as seasonal restrictions on the existing tourism use. It is therefore necessary for a new legal agreement to be completed to correspond to the proposed development.
- 8.128 The current units stationed at the rear (east) of the application site, those labelled 'The Holiday Park' in the previous legal agreement are to remain unaffected by the proposal and therefore, the new legal agreement will simply replicate the current obligations.
- 8.129 In order to avoid the total number of visitors exceeding the existing baseline, as identified in the analysis set out in the sections on recreational pressure and nutrient loading, at any point during the implementation phase, a phasing plan has been provided. The submitted phasing plan sets out the sequencing of the proposal, beginning with the existing pitch areas at the western end of the application site and progressing further inwards.
- 8.130 For those areas subject to the proposed pitches including the pitch areas known as The Hawthorns, The Pines and The Willows as well as the existing caravan storage areas will be subject to the current obligations until work commences to implement the proposed development. At the point, each individual parcel of land will be subject to the capacity restrictions set out within the submitted phasing plan. This will prevent any conflict with the current permissions and obligations that are in place.
- 8.131 **Other matters**  
Third party representations have set out a number of other matters and these are addressed below.
- 8.132 *Assessment of lodges*  
As set out above, the lodges that will use the proposed pitches do not form part of the planning application and therefore it is reasonable or necessary to secure precise details of their final specification. Should it transpire that the structures do not conform to the relevant legislative requirements as set out in section 3 above, then it will be open to the Local Planning Authority to undertake any necessary enforcement action to remedy any breach of planning control.
- 8.133 In addition, the submitted application form and supporting information is clear that the proposed pitches will only be used for tourism accommodation as summarised by the proposal description. Therefore the application has been assessed on this basis. In the event that the proposed pitches are not being

used for tourism accommodation then again it is open to the Local Planning Authority to undertake any necessary enforcement action to remedy any breach of planning control.

8.134 *Scope of the application*

The scope of the current planning application is limited to those matters set out in the proposal description and section 3 of this report, it has no bearing on any outstanding breaches of planning control.

8.135 As it has been concluded that the application is acceptable on the submitted terms, it is not reasonable or necessary to secure a reduction in the amount of proposed pitches. As discussed in the section on phasing above, controls have been imposed to ensure that the proposed development is delivered in an orderly and acceptable manner.

8.136 *Provision of dwelling houses*

The assessment of the current application does not in any way represent a prejudicial judgement on any potential future planning application for dwelling houses either at the application site or elsewhere in the parish, or indicate that such an application is forthcoming.

8.137 As such, previous planning decisions for additional dwelling houses elsewhere in the Parish have no bearing on the assessment of the current planning application.

8.138 *Planning history, previous planning decisions*

With regard to the status of developments at other locations such as those referred to at King Edward Mobile Home Park or Romsey Brewery, this does not constitute a material consideration to the current application which is assessed on its own merits.

8.139 *Gas supply*

Third party representations have raised concern that the application site does not benefit from an existing gas supply, but the connection to services is a private civil matter outside the scope of consideration.

8.140 *Public open space contribution*

As discussed above, the proposal is not for additional dwellings and therefore, it is not necessary or reasonable for a public open space contribution to be secured in order to make the development acceptable in planning terms.

9.0 **CONCLUSION**

9.1 The proposal is considered acceptable and in accordance with the policies of the TVBRLP, therefore the recommendation is for permission.

10.0 **RECOMMENDATION**

**Delegate to the Head of Planning and Building for the completion of a legal agreement to secure the following restrictions:**

- **Replicate the restrictions relating to The Holiday Park, as defined by the previous legal agreement completed under 11/00308/OBLS.**
- **Secure the phasing of the development in accordance with the submitted phasing plan.**

**Then PERMISSION subject to:**

1. **The development hereby permitted shall be begun within three years from the date of this permission.**  
**Reason: To comply with the provision of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.**
2. **The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans:**  
**Revised Site Location Plan**  
**Amended Landscape Masterplan (Figure 9 Rev P9)**  
**Soft Landscape Details Sheet 1 of 2**  
**Soft Landscape Details Sheet 2 of 2**  
**Amended Proposed Planting Plan**  
**Reason: For the avoidance of doubt and in the interests of proper planning.**
3. **The development hereby permitted shall only be occupied by units qualifying as caravans, as defined by the Caravan Sites and Control of Development Act (1960) and the Caravan Site Act (1968) as amended.**  
**Reason: To accord with the terms of the application and to ensure satisfactory planning of the area.**
4. **The pitches hereby permitted shall only be occupied by a maximum of 80 units at any one time.**  
**Reason: To accord with the terms of the application and to ensure satisfactory planning of the area.**
5. **The static caravans, cabins/chalets occupying the pitches hereby permitted shall not be occupied as a persons' sole or main place or residence.**  
**Reason: The application site is in a position where the Local Planning Authority, having regard to the reasonable standards of residential amenity, access, and planning policies pertaining to the area, would not permit permanent residential accommodation having regard to Policies COM2 and LE18 of the Test Valley Borough Revised Local Plan (2016).**
6. **The owners/operators of the site shall maintain an up-to-date register of the names of all owners/occupiers of individual caravans/log cabins/chalets on the site, and of their main home addresses, and shall make such information available at all reasonable times to the Local Planning Authority.**

**Reason: The application site is in a position where the Local Planning Authority, having regard to the reasonable standards of residential amenity, access, and planning policies pertaining to the area, would not permit permanent residential accommodation having regard to Policies COM2 and LE18 of the Test Valley Borough Revised Local Plan (2016).**

- 7. The development hereby permitted shall be undertaken in full accordance with the provisions set out within the RPS Tree Survey and Arboricultural Impact Appraisal (containing tree protection measures) reference JSL3693\_780 dated 20<sup>th</sup> September 2020.**

**Reason: To ensure the enhancement of the development by the retention of existing trees and natural features during the construction phase in accordance with Policy E2 of the Test Valley Borough Revised Local Plan (2016).**

- 8. Tree protective measures installed (in accordance with the tree protection condition listed as no.) shall be maintained and retained for the full duration of works or until such time as agreed in writing with the Local Planning Authority. No activities, nor material storage, nor placement of site huts or other equipment what-so-ever shall take place within the barrier.**

**Reason: To ensure the avoidance of damage to existing trees and natural features during the construction phase in accordance with Policy E2 of the Test Valley Borough Revised Local Plan (2016).**

- 9. Prior to the commencement of development, a method statement, detailing the no dig surfacing construction method for areas within the root protection zones of the retained trees, shall be submitted to and approved in writing by the Local Planning Authority. All work shall be undertaken in accordance with the requirements, specifications and timing detailed within the approved method statement.**

**Reason: To prevent the loss during development of important local landscape features and to ensure, so far as is practical, that development progresses in accordance with current Arboriculture best practice, in accordance with Policy E2 of the Test Valley Borough Revised Local Plan (2016).**

- 10. No development shall commence on site (including any works of demolition), until a Construction and Demolition Environmental Management Plan and Ecological Management Plan has been submitted to, and approved in writing by, the Local Planning Authority. The Plan shall include the following:**
- i) the parking of vehicles of site operatives and visitors;**
  - ii) the phasing of delivery vehicles bringing the lodges onto site**
  - iii) loading and unloading of plant and materials;**
  - iv) storage of plant and materials used in constructing the development;**
  - iv) hours of construction, including deliveries;**
  - v) the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate;**
  - vi) wheel washing facilities;**

- vii) measures to control the emission of dust and dirt during demolition and construction;
- viii) a scheme for recycling/disposing of waste resulting from demolition and construction works; and
- ix) measures for the protection of the natural environment and the ongoing management of Doctors Copse SINC

The approved Statement shall be complied with in full throughout the construction period. The development shall not be carried out otherwise than in accordance with the approved construction method statement.

Reason: The application contained insufficient information to enable this matter to be considered prior to granting planning permission and the matter is required to be agreed with the Local Planning Authority before development commences in order that the development is undertaken in an acceptable manner, to minimise detrimental effects to the neighbouring amenities, the amenities of the area in general, detriment to the natural environment through the risks of pollution and dangers to highway safety, during the construction phase having regard to Policy E8 of the Test Valley Borough Revised Local Plan (2016).

11. The development hereby permitted shall proceed in accordance with the measures set out in Section 4.0 'Conclusions, Impacts and Recommendations' of the Hill Farm Caravan Park, Branches Lane, Romsey, SO51 6FH Preliminary Ecological Impact Assessment (Arbtech November 2020), unless varied by a European Protected Species (EPS) licence issued by Natural England.

Reason: To ensure the favourable conservation status of bats and other protected species in accordance with Policy E5 of the Test Valley Revised Local Plan (2016).

12. No development shall take place above DPC level of the development hereby permitted, until details of a scheme of ecological enhancement measures to be incorporated within the proposed is submitted and approved by the Local Planning Authority. All enhancement measures should be permanently maintained and retained in accordance with the approved details.

Reason: To enhance the biodiversity of the site in accordance with requirements under the National Planning Policy Framework and Policy E5 the Test Valley Borough Revised Local Plan (2016).

13. Notwithstanding the information provided for the western boundary, no development shall take place above DPC level of the development hereby permitted until full details of the hard and soft landscape works have been submitted and approved. Details shall include:

- (i) planting plans;
- (ii) written specifications (including cultivation and other operations associated with plant and grass establishment);
- (iii) schedules of plants, noting species, plant sizes and proposed numbers/densities;
- (iv) hard surfacing materials.

**The landscape works shall be carried out in accordance with the approved details.**

**Reason: To enable the development to respect, complement and positively integrate into the character of the area in accordance with Policies E1 and E2 of the Test Valley Borough Revised Local Plan (2016).**

- 14. Prior to the pitches hereby approved being brought into use, a schedule of landscape implementation and maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The schedule shall include details of the arrangements for the phasing of the implementation and ongoing maintenance during that period in accordance with appropriate British Standards or other recognised codes of practise. Development shall be carried out in accordance with the approved schedule. Any trees or planting that are removed, die or become, in the opinion of the Local Planning Authority, seriously damaged or defective within this period, shall be replaced before the end of the current or first available planting season following the failure, removal or damage of the planting.**

**Reason: To enable the development to respect, complement and positively integrate into the character of the area in accordance with Test Valley Borough Revised Local Plan (2016) Policies E1 and E2.**

- 15. The drainage system hereby permitted shall be constructed in accordance with the approved documents:**
- Site Investigation Percolation Testing (reference: PT-2020-00002 1.1, dated: 12/01/2020).**
  - Surface Water Drainage Technical Summary (reference: AAC5728; dated: 6th December 2020).**
  - Flood Risk Assessment and Conceptual Foul and Surface Water Drainage Strategy (reference: RCEF77450 002, dated 28<sup>th</sup> September 2020).**

**Any changes to the approved drainage strategy and associated documentation must be submitted to and approved in writing by the Local Planning Authority and the Lead Local Flood Authority in consultation with the Environment Agency where necessary. Any revised details submitted for approval must include a technical summary highlighting any changes, updated detailed drainage drawings and detailed drainage calculations. Implementation of the surface water drainage system shall be in accordance with the approved details and retained thereafter.**

**Reason: To ensure that the development does not result in the deterioration of water quality and unacceptable level of surface water flooding or an unacceptable polluting impact on controlled waters in accordance with Policies E7 and E8 of the Test Valley Borough Revised Local Plan (2016).**



- 16. Prior to the completion of the drainage strategy hereby approved, details for the long-term maintenance arrangements of the surface water drainage system shall be submitted to and approved in writing by the Local Planning Authority. The submitted details shall include:**

- a. Maintenance schedules for each drainage feature type and ownership.**
- b. Details of protection measures.**

**Management of the surface water drainage system shall be in accordance with the approved details and retained thereafter.**

**Reason: To ensure that the development does not result in the deterioration of water quality and unacceptable level of surface water flooding in accordance with Policy E7 of the Test Valley Borough Revised Local Plan (2016).**

- 17. The development hereby approved shall not be brought into use until the car parking spaces shown on the approved masterplan have been provided. The areas of land so provided shall be retained at all times for this purpose.**

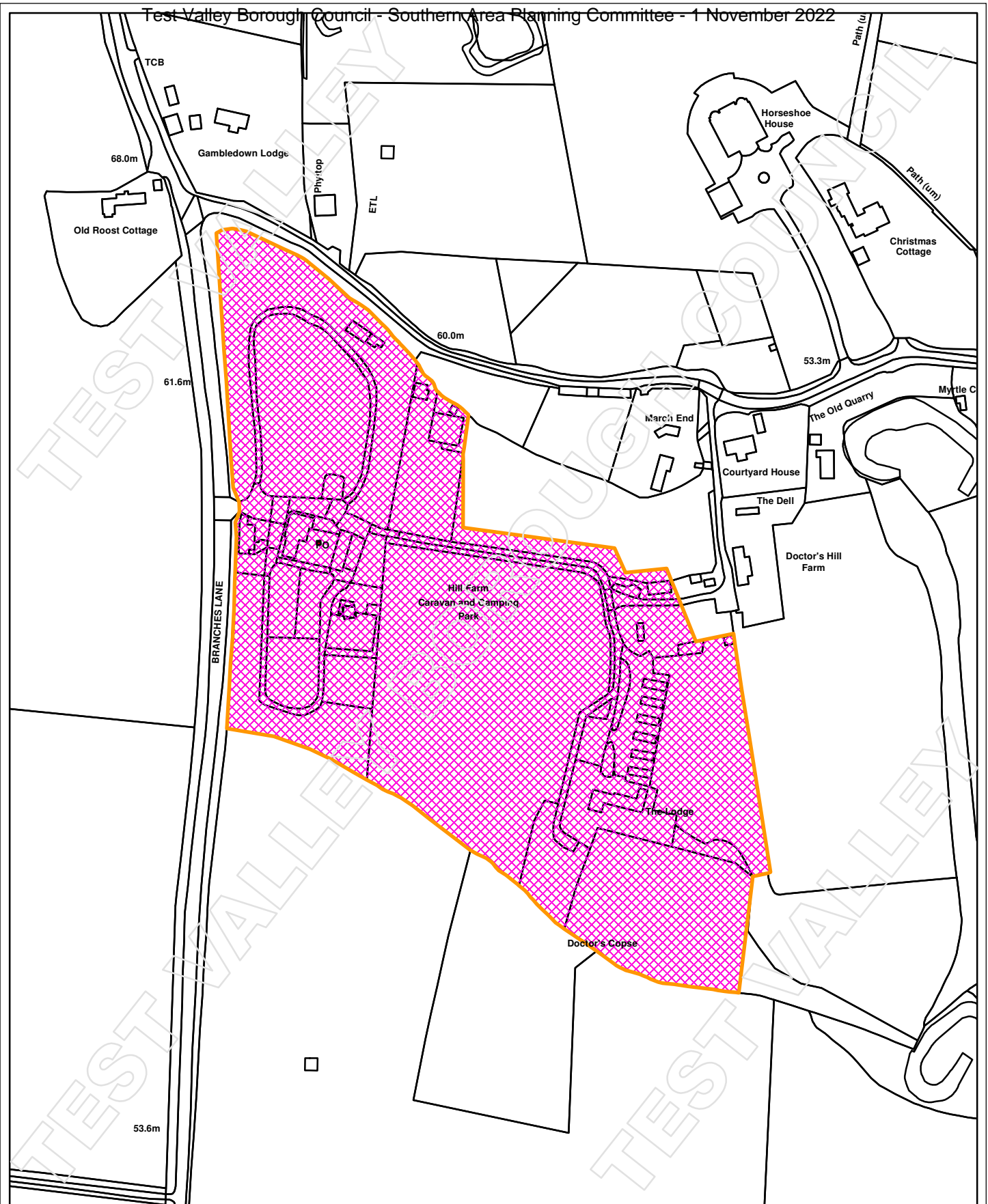
**Reason: To ensure sufficient off-street parking has been provided in accordance with Policy T2 of the Test Valley Borough Revised Local Plan (2016) and in the interest of highway safety in accordance with Policy T1 of the Test Valley Borough Revised Local Plan (2016).**

- 18. No external lighting shall be installed until details have been submitted to and approved in writing by the Local Planning Authority. The details shall include plans and details sufficient to show the location, type, specification, luminance and angle of illumination of all lights/luminaires. The external lighting shall be installed in accordance with the approved details.**

**Reason: To ensure the favourable conservation status of bats in accordance with Policy E5 of the Test Valley Borough Revised Local Plan (2016).**

**Note to applicant:**

- 1. In reaching this decision Test Valley Borough Council (TVBC) has had regard to the National Planning Policy Framework and takes a positive and proactive approach to development proposals focused on solutions. TVBC work with applicants and their agents in a positive and proactive manner offering a pre-application advice service and updating applicants/agents of issues that may arise in dealing with the application and where possible suggesting solutions.**
-



**Siteplan**



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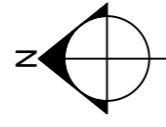
**20/02385/FULLS**



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**LEGEND**

- APPLICATION SITE BOUNDARY
- INDICATIVE LOCATION OF EXISTING LOW LEVEL BOLLARD LIGHTING



D	Application Site Boundary	DA	GL	08/12/20
C	Application Site Boundary	GL	NM	04/12/20
B	Application Site Boundary	GL	NM	04/12/20
A	Existing bollard lighting	GL	NM	30/11/20
Rev	Description	By	CB	Date



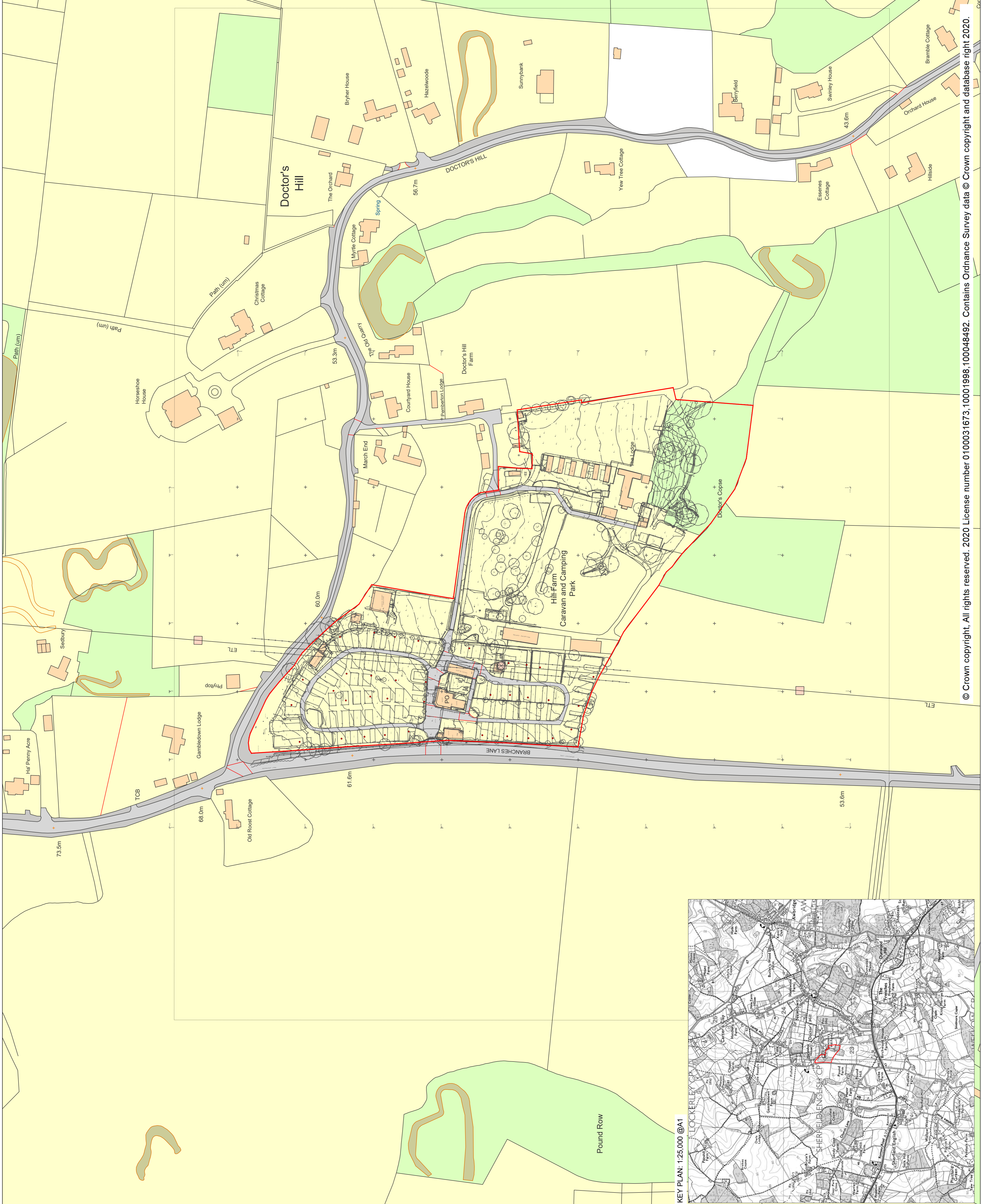
Lakesbury House, Hittingbury Road, Chandlers Ford, Hampshire SO53 5SS  
 T: 02380 810 440 E: rpsso@rpsgroup.com

Client **DHI Ltd.**

Project **Hill Farm Caravan Park**

Title **Site Location Plan**

Status	Drawn By	PIV/Checked by
For Planning	GL	NM
Job Ref	Scale @ A1	Date Created
JSL3693	1:1,250	Sept 2020
RPS Drawing / Figure Number	Rev	
102	D	









**PLANTING SPECIFICATION**

**EXISTING TREES AND SHRUBS**

Where existing trees & shrubs are to be retained they should be subject to a full arboricultural inspection for safety.

Any surgery required shall be in accordance with BS 3998 (2010) 'Tree Work - Recommendations', shall comply with any existing T.P.O requirements and shall require the prior approval of the Landscape Architect.

Avoid damage to branches, trunks and roots of trees. All existing trees & hedges to be retained are subject to BS 5837 (2012) 'Trees in relation to design, demolition and construction - Recommendations', and should be fully fenced off, prior to the commencement of any works, in accordance with Figure 2 (p20) at the full extent of the root protection area, as determined by section 4.6 (p10-11) and Annex D (p40).

No storage of materials, disposal of rubbish, site fires, spillage of oil and chemicals, ground compaction, excavation or changes in level shall be carried out within existing tree / hedge canopies.

Existing hedgerow to Branches Lane to be managed and maintained to a height of approximately 1.5 - 2.0m.

**PLANTING**

All plants and planting to comply with the requirements of all current / relevant British Standard specifications including BS 8945 (2014) 'Trees from Nursery to Independence in the Landscape', BS 3996: Part 1 (1992), Part 2 (1990) and Part 4 and BS 4043 (1989) where applicable, BS 4428 (1989). All plants to be supplied in accordance with the plant schedule and with regard to imported stock and notifiable diseases within the Plant Health Act 1967 (revised 2009). Any plant material planted outside the recognised planting season (Nov-Feb), to be containerised stock and supplied at the sizes specified. Where possible, trees and shrubs of UK provenance are preferred.

**TREE PLANTING**

A suitable method of foundation allowing for existing ground conditions is to be provided to accommodate the proposed tree planting. All trees are to be planted as shown ensuring a minimum of 5 metres from buildings and 3 metres from drainage and services. Where necessary, root barriers to be installed (supplier: GreenBlue Urban (www.greenblueurban.com), or equal approved), as recommended by structural engineer. Allow for the use of containerised stock during the period 1 April to 31 October, and field grown stock from 1 November to 31 March.

**SHRUB PLANTING**

Where a shrub planting mix has been specified, plants to be grouped in 3 No. (min.) to 7 No. (max.) single species groups. Larger species to be located towards the rear of planting beds (i.e. where against a screen wall / house frontage), or towards the centre of an island planting bed. Thorny species to be located centrally within the planting bed.

For minimum planted heights refer to JSL3693\_550 Typical Tree and Shrub Palette - Western Boundary.

**TOPSOIL REQUIREMENTS**

To BS 3882 (2015) 'Specification for topsoil' as qualified by full contract specification. All areas shall be cultivated to a minimum depth of 150mm. Full weed, rubbish and stones over 20mm gauge shall be removed. Earth to be rolled as required and raked in two directions. Applied to all newly planted areas (except wildflower / meadow planting), to manufacturers' recommendations where appropriate.

- Shrub / structure planting beds - 450mm depth
- Heavy standard tree pits - 1500mm dia. x 450mm depth (Note: 450mm depth subsoil to be provided below - refer to tree pit details)
- Grass areas (incl. rear gardens) - 150mm depth

Where necessary increase tree pit dimensions to ensure that tree pits are at least 75mm deeper and 150mm wider than rootball. Break up bottom of pits to a depth of 150mm. Compacted glazed sides of pits should be roughened.

Full analysis of existing and imported topsoil required prior to use.

**TOPSOIL IMPROVEMENTS**

Applied to all newly planted areas, to manufacturers' recommendations where appropriate:

- 1) Incorporate 75mm depth of soil conditioner into topsoil during cultivation;
- 2) Incorporate Enmag CRF granular fertilizer at approx 140g per pit to standard tree pit backfill and 70g per pit to structural / ornamental shrub planting;
- 3) Watering - supply minimum 54 litres / tree and 4.5 litres / shrub at planting;
- 4) Mulch - lightly fork over planted areas before applying a 75mm depth 50-100mm grade bark mulch. Note: all trees are to have minimum 300mm dia 'weed free' mulched areas around the base to eliminate the risk of strimmer damage. Ornamental Bark to consist of predominantly matured British Pine Bark with an even nominal particle size distribution of 5-35mm with 0% dust & fines & less than 5% wood content. The product shall be disease & weed free & not have been treated with Methyl Bromide or any additives. The product shall have been tested in accordance with the requirements of BS 4790:1987, for fire resistance. NB - Watering to be carried out prior to application of bark mulch.

**PLANT MATERIAL TREATMENT**

NB All to be British grown stock and fully hardened off.

Root Dip - Proprietary Root Dip applied to all bare rooted stock (1) at time of lifting at nursery and (2) prior to planting.

Anti-Desiccant - Proprietary anti-desiccant to be applied to foliage of all containerised / rootballed material in leaf, specimen conifers and evergreens etc. (1) prior to transportation and (2) during any delay in planting.

Pruning - Allow for pruning of all deciduous trees and shrubs by 1/3rd following planting at Landscape Architect's direction or as indicated in the planting schedule.

Tree Stakes & Ties - Stakes to be pressure treated, round, smooth and peeled Larch or Chestnut, not less than 100mm in diameter. Advanced nursery stock - double staked with cross bar.

**TREE STAKES, TIES & GUARDS**

Trees planted within grassed areas to be provided with appropriate conical strimmer. Stakes to be pressure impregnated softwood, round, peeled, straight, free of projections and pointed at one end. Minimum length and thickness to be determined as follows:

Tree type	Min Dia.	Overall Height	Height exposed above ground
Ex / Hvy Std	100mm	1.8m	0.6m
Tree type	No. stakes	No. ties	
Ex / Hvy Std	2	1	

**TURFED AREAS**

Turf to BS 3969 (1998+A1:2013) 'Recommendations for Turf for general purposes' from an approved source. When topsoil is reasonably dry and workable, grade to smooth, flowing contours removing all minor hollows and ridges. Cultivate soil to full depth and break up any compacted topsoil. Apply approved herbicide to control perennial weeds and allow period of time to elapse as recommended by manufacturer before final cultivation. Apply proprietary fertiliser. Reduce top 25mm topsoil to a fine tilth by further cultivation. Remove stones exceeding 50mm in any dimension. Lay turf with broken joints, well butted up, working from planks laid on previously laid turves, during appropriate season and weather conditions. Adjust levels by raking out or filling with fine soil under turves. Consolidate by lightly and evenly firming with wooden beaters as laying proceeds. Do not use rollers. Dress turf with fine topsoil and brush in to fill joints. Thoroughly water completed turf within 24 hours of laying.

**TURFED AREAS: ESTABLISHMENT CUT**

Water all grass areas to maintain healthy growth. When grass is 50mm high remove debris, litter and any stones later in dry conditions cut grass to between 25-30mm. Remove and dispose of all arisings.

**GRASS SEEDED AREAS**

Grass seeding generally to BS 4428 (1998) 'Code of practice for general landscape operations'. When topsoil is reasonably dry and workable grade to smooth flowing contours removing all hollows and ridges. Cultivate soil to full depth and break up any compacted topsoil. Apply approved herbicide to control perennial weeds and allow period of time to elapse as recommended by manufacturer before final cultivation. Apply proprietary pre-seeding fertilizer. Reduce top 25mm of topsoil to a fine tilth by further cultivation. Remove stones exceeding 50mm in any dimension. Sow approved grass seed mixture in accordance with suppliers recommendations during appropriate season and weather conditions, e.g. Geminal (www.geminal.com) Mix A2 (Quality Lawn) (or equal approved) at 50gms/m2. Lightly harrow or rake then roll and cross-roll with lightweight roller.

**GRASS SEEDED AREAS: ESTABLISHMENT CUT**

When grass is between 40-75mm high remove stones and debris exceeding 50mm in any dimension and roll with a lightweight roller. About 48 hours later cut grass to approximately 35mm high. Remove and dispose of all arisings.

**PROTECTIVE FENCING**

The contractor shall maintain fencing until all site works are complete. The contractor will then remove the fencing and reinstatement the ground. The fencing will remain the property of the contractor. Within the area so fenced, the existing ground level shall be neither raised nor lowered, all excavations shall then be carried out by hand.

The Local Planning Authority shall be advised in writing when the protective fencing has been erected so that it can be checked on site before development commences, and shall thereafter be maintained during the period of construction.

**MAINTENANCE**

Regular visits (minimum 14 No.) required during the defects liability / rectification period to maintain all planted areas in a weed and litter free condition using a combination of chemical spray and hand weeding to be agreed with the Landscape Architect. Maintenance to include watering, pruning, pest and disease control and re-mulching as required. Grass areas to be mowed at 2 week intervals during the growing season.

Structure planting areas shall be maintained as non competitive weed free environment by repeated applications of a glyphosate based herbicide. Persistent weeds and unwanted scrub shall be spot treated as necessary with an alternative herbicide to be agreed with the Landscape Architect.

Watering shall be carried out as necessary to maintain healthy growth or as required by the Landscape Architect.

NB: Final visit to be immediately prior to handing over and to include a fertilizer treatment of Enmag CRF granular fertilizer at 100g / m2 and a 25mm depth bark mulch top up to all planted areas.

**STRUCTURE PLANTING: FEATHERED TREES AND WHIPS**

Notch planting will not be permitted. All feathered trees and whips will be planted in prepared pits 600mm diameter x 600mm deep for feathered trees and 300mm diameter x 300mm deep for whips.

Each plant shall be placed upright in the centre of the pit with the roots spread evenly outwards and downwards without restriction, and backfilled with topsoil (to BS 2015), incorporating TPAMC Tree Planting Compost (Amenity Land Solutions) (or equal approved) well mixed with topsoil backfill at a rate of 50:50 in consolidated layers, shaking the trees to remove voids.

Incorporate Enmag CRF granular fertilizer at approx 140g per pit to feathered tree pit backfill and 70g per pit to structural / whip planting backfill. Supply water at a minimum 4.5 litres / whip and 18 litres / feathered tree prior to bark mulching.

Feathered trees shall be staked using 1.0m long Larch or Chestnut stakes, round, smooth and peeled with 75mm diameter at the point and not less than 50mm at the butt end, driven at least 600mm into the ground. Trees will be secured to the stake using a single 'Tom Tie' (www.tomties.co.uk) or similar approved securely nailed at a point 50mm from the top of the stake to ensure no rubbing or excessive movement.

The plant shall be well firm, with the soil level 10mm above nursery level to allow for settlement. Clear away surplus soil and after watering apply a minimum 75mm deep x 300mm diameter collar of 50-75mm grade coarse bark mulch. All tree species to be fitted with proprietary rabbit guards such as Tubex Ventex (or equal approved).

**SAFETY PRECAUTIONS**

The landscape sub-contractor is to take all safety precautions to prevent any injury to any persons. The landscape sub-contractor shall comply with the requirements of the Health & Safety at Work Act 1974 and current Construction, Design and Management Regulations (2015).

All subject to Local Authority approval.

**Notes**

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**KEY**

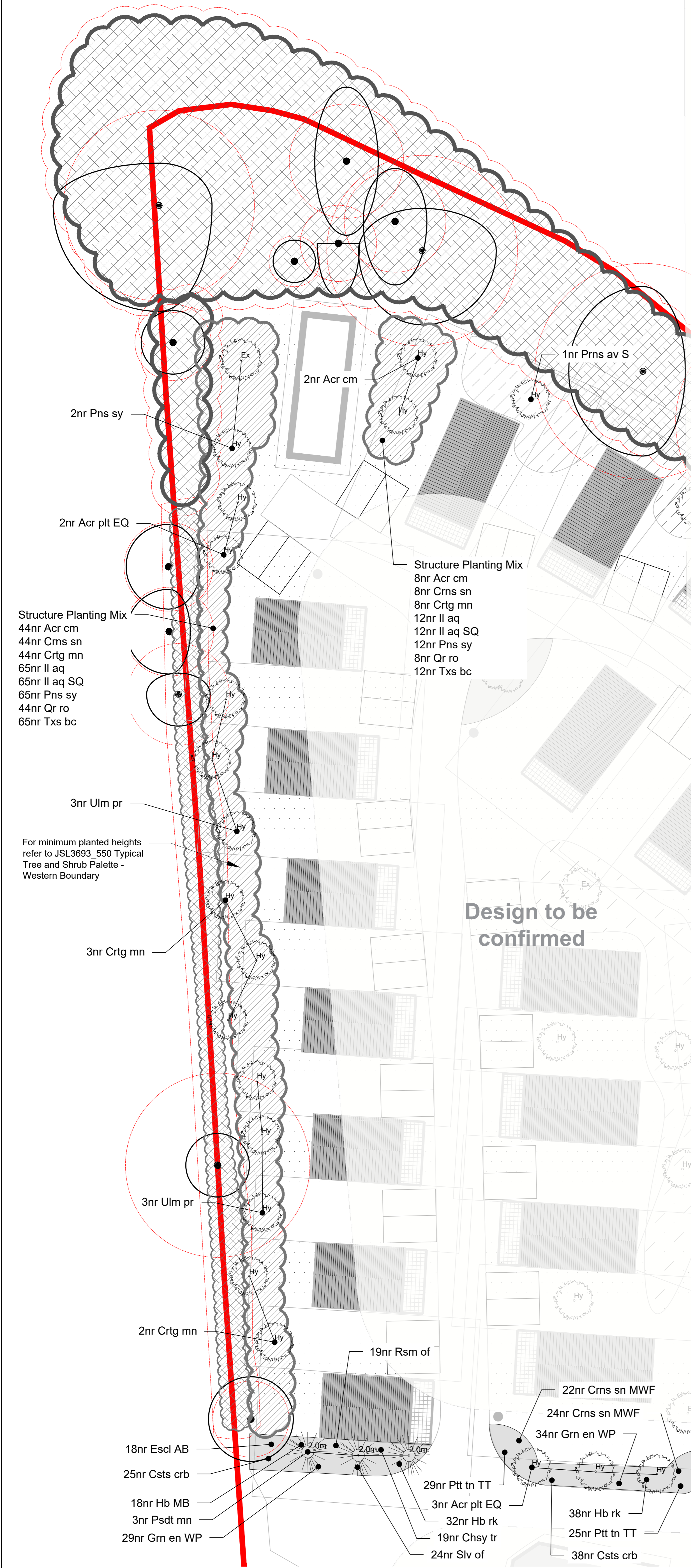
**SOFT LANDSCAPE**

**Proposed elements**

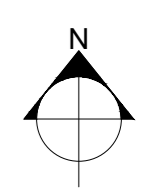
- EXTRA HEAVY STANDARD TREE (14-16cm girth)
- HEAVY STANDARD TREE (12-14cm girth)
- CONIFEROUS TREE (2.0-3.0m high)
- STRUCTURE PLANTING MIX
- ORNAMENTAL AMENITY SHRUB PLANTING
- MOWN AMENITY GRASS
- WILDFLOWER MEADOW
- WOODLAND EDGE MEADOW

**Existing features**

- TREES To be retained and protected
- WOODLAND To be retained and protected
- HEDGEROW To be retained and protected (existing hedgerow to Branches Lane to be managed and maintained to a height of approximately 1.5 - 2.0m)



**Design to be confirmed**



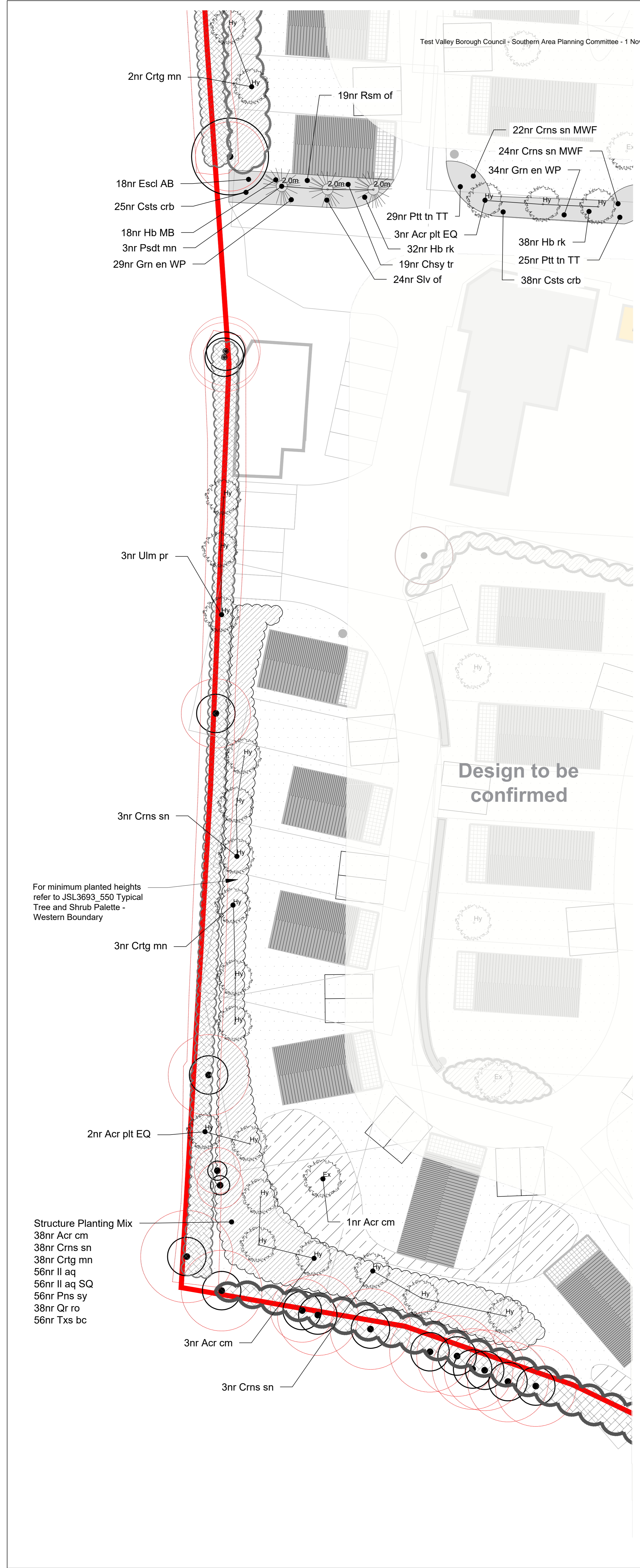
Rev	Description	By	CB	Date
B	Updated to the LPA comments	JMB	GL	09.06.21
A	Additional Notes (Client Comments)	GL	NM	08.02.21



Lakesbury House, Hillingbury Road, Chandlers Ford, Hampshire SO53 5SS  
T: 02380 810 440 E: rpsso@rpsgroup.com

Client	DHI Ltd.		
Project	Hill Farm Caravan Park		
Title	Detailed Soft Landscape Proposals Western Boundary Sheet 1 of 2		
Status	Drawn By	PM/Checked by	
Planning	DA	GL	
Job Ref	Scale @ A1	Date Created	
JSL3693	1:200	Feb 21	
RPS Drawing / Figure Number	Rev		
501	B		





**PLANTING SPECIFICATION**

EXISTING TREES AND SHRUBS  
 Existing trees and shrubs are to be retained they should be subject to a full arboricultural inspection for safety.

Any surgery required shall be in accordance with BS 3998 (2010) 'Tree Work - Recommendations', shall comply with any existing T.F.O requirements and shall require the prior approval of the Landscape Architect.

Avoid damage to branches, trunks and roots of trees. All existing trees & hedges to be retained are subject to BS 5837 (2012) 'Trees in relation to design, demolition and construction - Recommendations', and should be fully fenced off, prior to the commencement of any works, in accordance with Figure 2 (p20) at the full extent of the root protection area, as determined by section 4.6 (p10-11) and Annex D (p40).

No storage of materials, disposal of rubbish, site fires, spillage of oil and chemicals, ground compaction, excavation or changes in level shall be carried out within existing tree / hedge canopies.

Existing hedgerow to Branches Lane to be managed and maintained to a height of approximately 1.5 - 2.0m.

**PLANTING**

All plants and planting to comply with the requirements of all current / relevant British Standard specifications including BS 8545 (2014) 'Trees from Nursery to Independence in the Landscape', BS 3998, Part 1 (1992), Part 2 (1990) and Part 4 and BS 4043 (1989) where applicable, BS 4428 (1989). All plants to be supplied in accordance with the plant schedule and with regard to imported stock and notifiable diseases within the Plant Health Act 1967 (revised 2009). Any plant material planted outside the recognised planting season (Nov-Feb), to be containerised stock and supplied at the sizes specified. Where possible, trees and shrubs of UK provenance are preferred.

**TREE PLANTING**

A suitable method of foundation allowing for existing ground conditions is to be provided to accommodate the proposed tree planting. All trees are to be planted as shown ensuring a minimum of 5 metres from buildings and 3 metres from drainage and services. Where necessary, root barriers to be installed (supplier: GreenBlue Urban (www.greenblueurban.com), or equal approved), as recommended by structural engineer. Allow for the use of container grown stock during the period 1 April to 31 October, and field grown stock from 1 November to 31 March.

**SHRUB PLANTING**

Where a shrub planting mix has been specified, plants to be grouped in 3 No. (min.) to 7 No. (max.) single species groups. Larger species to be located towards the rear of planting beds (i.e. where against a screen wall / house frontage), or towards the centre of an island planting bed. Thorny species to be located centrally within the planting bed.

For minimum height of planting refer to JSL3693\_550 Typical Tree and Shrub Palette - Western Boundary.

**TOPSOIL REQUIREMENTS**

To BS 3882 (2015) 'Specification for topsoil' as qualified by full contract specification. All areas shall be cultivated to a minimum depth of 150mm. Full weed, rubbish and stones over 20mm gauge shall be removed. Earth to be rolled as required and raked in two directions. Applied to all newly planted areas (except wildflower / meadow planting), to manufacturers' recommendations where appropriate.

Shrub / structure planting beds - 450mm depth

Heavy standard tree pits (Note: 450mm depth subsoil to be provided below - refer to tree pit details)

Grass areas (incl. rear gardens) - 150mm depth

Where necessary increase tree pit dimensions to ensure that tree pits are at least 75mm deeper and 150mm wider than rootball. Break up bottom of pits to a depth of 150mm. Compacted glazed sides of pits should be roughened.

Full analysis of existing and imported topsoil required prior to use.

**TOPSOIL IMPROVEMENTS**

Applied to all newly planted areas, to manufacturers' recommendations where appropriate:

- 1) Incorporate 75mm depth of soil conditioner into topsoil during cultivation;
- 2) Incorporate Enmag CRF granular fertilizer at approx 140g per pit to standard tree pit backfill and 70g per pit to structural / ornamental shrub planting;
- 3) Watering - supply minimum 54 litres / tree and 4.5 litres / shrub at planting;
- 4) Mulch - lightly fork over planted areas before applying a 75mm depth 50-100mm grade bark mulch. Note: all trees are to have minimum 300mm dia 'weed free' mulched areas around the base to eliminate the risk of stemmer damage. Ornamental Bark to consist of predominantly matured British Pine Bark with an even nominal particle size distribution of 5-35mm with 0% dust & fines & less than 5% wood content. The product shall be pest, disease & weed free & not have been treated with Methyl Bromide or any additives. The product shall have been tested in accordance with the requirements of BS 4790:1997, for fire resistance. NB - Watering to be carried out prior to application of bark mulch.

**PLANT MATERIAL TREATMENT**

NB All to be British grown stock and fully hardened off.

Root Dip - Proprietary Root Dip applied to all bare rooted stock (1) at time of lifting at nursery and (2) prior to planting.

Anti-Desiccant - Proprietary anti-desiccant to be applied to foliage of all containerised / rootballed material in leaf, specimen conifers and evergreens etc.

(1) prior to transportation and (2) during any delay in planting.

Pruning - Allow for pruning of all deciduous trees and shrubs by 1/3rd following planting at Landscape Architect's direction or as indicated in the planting schedule.

Tree Stakes & Ties - Stakes to be pressure treated, round, smooth and peeled Larch or Chestnut, not less than 100mm in diameter. Advanced nursery stock - double staked with cross bar.

**TREE STAKES, TIES & GUARDS**

Trees planted within grassed areas to be provided with appropriate conical stammer. Stakes to be pressure impregnated softwood, round, peeled, straight, free of projections and pointed at one end. Minimum length and thickness to be determined as follows:

Tree type	Min Dia.	Overall Height	Height exposed above ground
Ex / Hvy Std	100mm	1.8m	0.6m

Tree type	No. stakes	No. ties
Ex / Hvy Std	2	1

**TURFED AREAS**

Turf to BS 3969 (1998+A1:2013) 'Recommendations for Turf for general purposes' from an approved source. When topsoil is reasonably dry and workable, grade to smooth, flowing contours removing all minor hollows and ridges. Cultivate soil to full depth and break up any compacted topsoil. Apply approved herbicide to control perennial weeds and allow period of time to elapse as recommended by manufacturer before final cultivation. Apply proprietary fertilizer. Reduce top 25mm topsoil to a fine tilth by further cultivation. Remove stones exceeding 50mm in any dimension. Lay turf with broken joints, well butted up, working from planks laid on previously laid turves, during appropriate season and weather conditions. Adjust levels by raking out or filling with fine soil under turves. Consolidate by lightly and evenly firming with wooden beaters as laying proceeds. Do not use rollers. Dress turf with fine topsoil and brush in to fill joints. Thoroughly water completed turf within 24 hours of laying.

**TURFED AREAS: ESTABLISHMENT CUT**

Water all grass areas to maintain healthy growth. When grass is 50mm high remove debris, litter and any stones later in dry conditions cut grass to between 25-30mm. Remove and dispose of all arisings.

**GRASS SEEDED AREAS**

Grass seeding generally to BS 4428 (1998) 'Code of practice for general landscape operations'. When topsoil is reasonably dry and workable grade to smooth flowing contours removing all hollows and ridges. Cultivate soil to full depth and break up any compacted topsoil. Apply approved herbicide to control perennial weeds and allow period of time to elapse as recommended by manufacturer before final cultivation. Apply proprietary pre-seeding fertilizer. Reduce top 25mm of topsoil to a fine tilth by further cultivation. Remove stones exceeding 50mm in any dimension. Sow approved grass seed mixture in accordance with suppliers recommendations during appropriate season and weather conditions, e.g. Germinall (www.germinall.com) Mix A2 (Quality Lawn) (or equal approved) at 50gms/m<sup>2</sup>. Lightly harrow or rake then roll and cross-roll with lightweight roller.

**GRASS SEEDED AREAS: ESTABLISHMENT CUT**

When grass is between 40-75mm high remove stones and debris exceeding 50mm in any dimension and roll with a lightweight roller. About 48 hours later cut grass to approximately 35mm high. Remove and dispose of all arisings.

**PROTECTIVE FENCING**

The contractor shall maintain fencing until all site works are complete. The contractor will then remove the fencing and reinstate the ground. The fencing will remain the property of the contractor.

Within the area so fenced, the existing ground level shall be neither raised nor lowered, all excavations shall then be carried out by hand.

The Local Planning Authority shall be advised in writing when the protective fencing has been erected so that it can be checked on site before development commences, and shall thereafter be maintained during the period of construction.

**MAINTENANCE**

Regular visits (minimum 14 No.) required during the defects liability / rectification period to maintain all planted areas in a weed and litter free condition using a combination of chemical spray and hand weeding to be agreed with the Landscape Architect. Maintenance to include watering, pruning, pest and disease control and re-mulching as required. Grass areas to be mowed at 2 week intervals during the growing season.

Structure planting areas shall be maintained as non competitive weed free environment by repeated applications of a glyphosate based herbicide. Persistent weeds and unwanted scrub shall be spot treated as necessary with an alternative herbicide to be agreed with the Landscape Architect.

Watering shall be carried out as necessary to maintain healthy growth or as required by the Landscape Architect.

NB: Final visit to be immediately prior to handing over and to include a fertilizer treatment of Enmag CRF granular fertilizer at 100g / m<sup>2</sup> and a 25mm depth bark mulch top up to all planted areas.

**STRUCTURE PLANTING: FEATHERED TREES AND WHIPS**

Notch planting will not be permitted. All feathered trees and whips will be planted in prepared pits 600mm diameter x 600mm deep for feathered trees and 300mm diameter x 300mm deep for whips.

Each plant shall be placed upright in the centre of the pit with the roots spread evenly outwards and downwards without restriction, and backfilled with topsoil (to BS 2015), incorporating TPMC Tree Planting Compost (Amenity Land Solutions) (or equal approved) well mixed with topsoil backfill at a rate of 50:50 in consolidated layers, shaking the trees to remove voids.

Incorporate Enmag CRF granular fertilizer at approx 140g per pit to feathered tree pit backfill and 70g per pit to structural shrub / whip planting backfill. Supply water at a minimum 4.5 litres / whip and 18 litres / feathered tree prior to bark mulching.

Feathered trees shall be staked using 1.0m long Larch or Chestnut stakes, round, smooth, and peeled with 75mm diameter at the point and not less than 50mm at the butt end, driven at least 500mm into the ground. Trees will be secured to the stake using a single 'Tom Tie' (www.tomties.co.uk) or similar approved securely nailed at a point 50mm from the top of the stake to ensure no rubbing or excessive movement.

The plant shall be well firmed, with the soil level 10mm above nursery level to allow for settlement. Clear away surplus soil and after watering apply a minimum 75mm deep x 300mm diameter collar of 50-75mm grade coarse bark mulch. All tree species to be fitted with proprietary rabbit guards such as Tubex Vertex (or equal approved).

**SAFETY PRECAUTIONS**

The landscape sub-contractor is to take all safety precautions to prevent any injury to any persons. The landscape sub-contractor shall comply with the requirements of the Health & Safety at Work Act 1974 and current Construction, Design and Management Regulations (2015).

All subject to Local Authority approval.

Design to be confirmed

For minimum planted heights refer to JSL3693\_550 Typical Tree and Shrub Palette - Western Boundary

- Structure Planting Mix
- 38nr Acr cm
- 38nr Crns sn
- 38nr Crtg mn
- 56nr Il aq
- 56nr Il aq SQ
- 56nr Pns sy
- 38nr Qr ro
- 56nr Txs bc

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**Notes**

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**KEY**

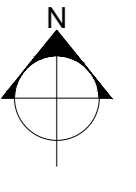
**SOFT LANDSCAPE**

**Proposed elements**

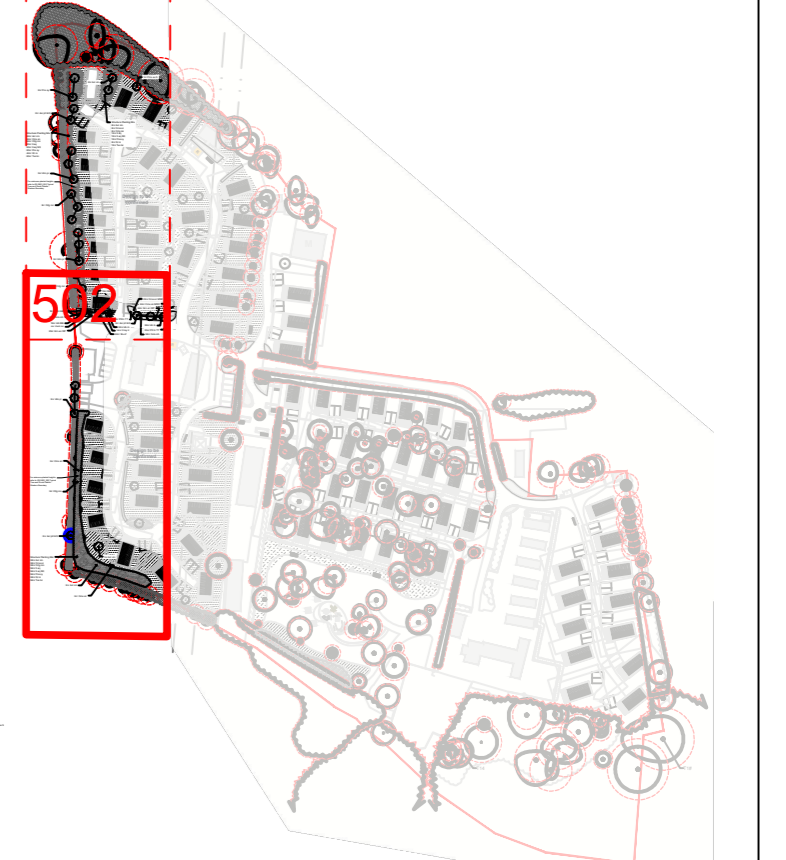
- EXTRA HEAVY STANDARD TREE (14-16cm girth)
- HEAVY STANDARD TREE (12-14cm girth)
- CONIFEROUS TREE (2.0-3.0m high)
- STRUCTURE PLANTING MIX
- ORNAMENTAL AMENITY SHRUB PLANTING
- MOWN AMENITY GRASS
- WILDFLOWER MEADOW
- WOODLAND EDGE MEADOW

**Existing features**

- TREES To be retained and protected
- WOODLAND To be retained and protected
- HEDGEROW To be retained and protected (existing hedgerow to Branches Lane to be managed and maintained to a height of approximately 1.5 - 2.0m)



**INSET: NOT TO SCALE**



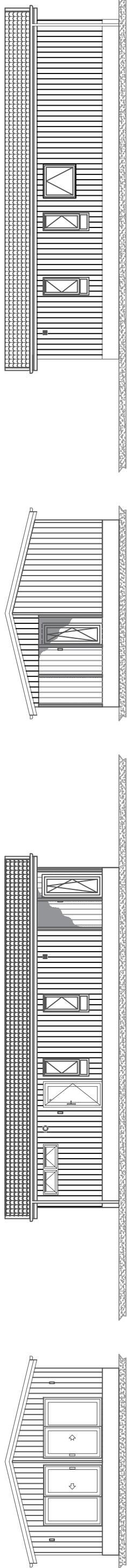
Rev	Description	By	Chk	Date
B	Updated to the LPA comments	JMB	GL	09.06.21
A	Additional Notes (Client Comments)	GL	NM	09.02.21



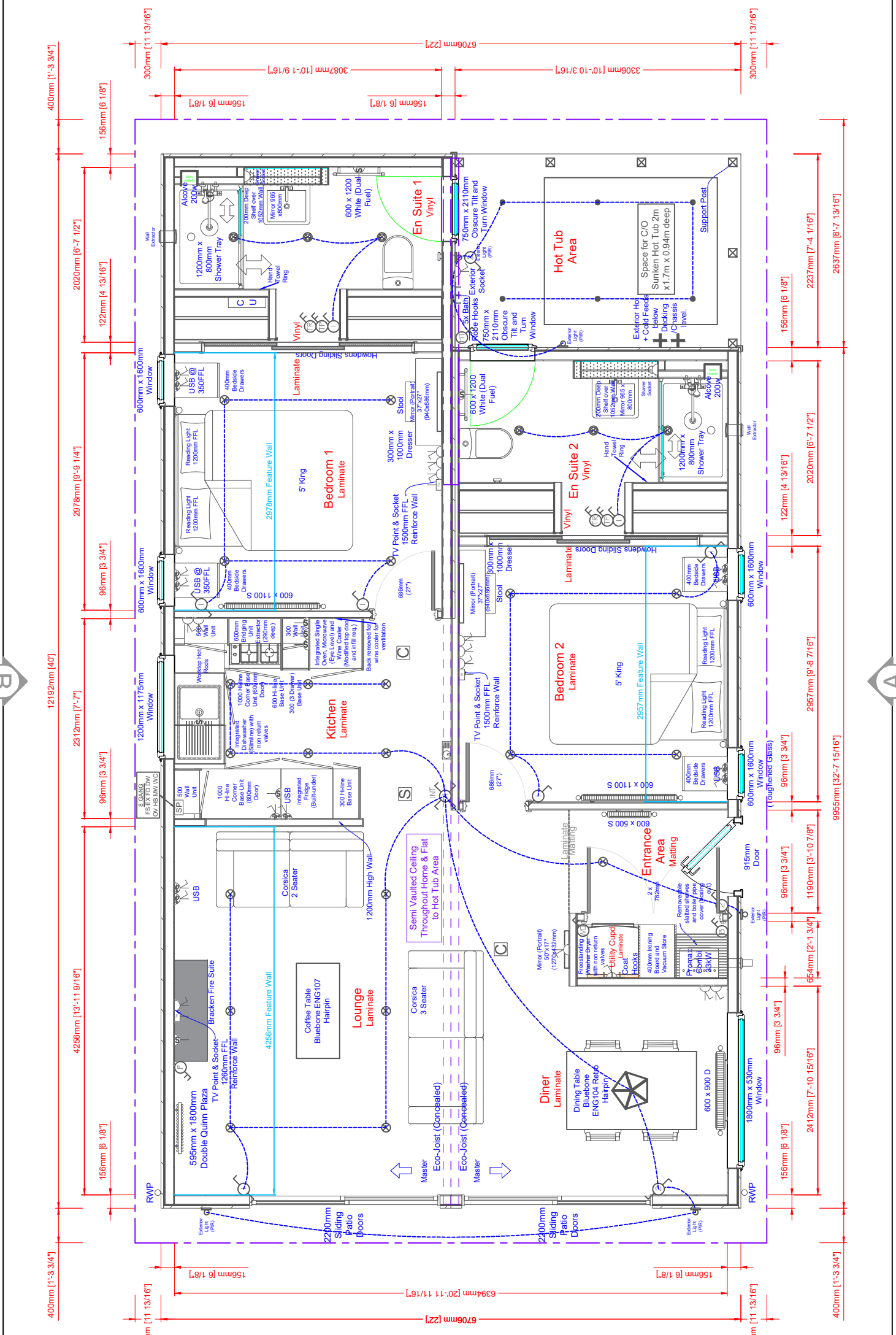
Lakesbury House, Hillingbury Road, Chandlers Ford, Hampshire SO53 5SS  
 T: 02380 810 440 E: rpsso@rpsgroup.com

Client	DHI Ltd.		
Project	Hill Farm Hill Farm Caravan Park		
Title	Detailed Soft Landscape Proposals Western Boundary Sheet 2 of 2		
Status	Drawn By	PM/Checked by	
Planning	DA	GL	
Job Ref	Scale @ A1	Date Created	
JSL3693	1:200	Feb 21	
RPS Drawing / Figure Number	Rev		
502	B		





This home is designed in accordance with BS3632



**LEGEND**

Single Socket	Smoke Alarm
Double Socket	Carbon Monoxide Alarm
Unswitched Socket	Switchplate
Thermostat	Consumer Unit
Communication Point	Batten Holder
Isolator	Ceiling Rose & Pendant
1 Way Light Switch	Downlight
2 Way Light Switch	Under Locker Light
Ceiling Extractor	Exterior Tap

**NOTES:**  
N/A

**SALES ISSUE**  
A further drawing will be sent to the customer when adapted for Production Issue

Rev.	Date	By	Description
0	04/10/18	AF	Update Beam
Date:	DD/MM/YY	Relative	
Scale:	??	Drawn:	??
Quote:	QN ?????	Dwg No:	????
Serial No:	18 ?? 00????	Customers Signature:	
Date:			

**Prestige Homeseeker**  
Park & Leisure Homes

Shiplon Way, Express Business Park, Rushden, Northants NN10 6GL  
 Tel: 0845 0702345 / 01933 354000 Fax: 01933 354047 / 01933 354049  
 Email: sales@prestigeparkandleisurehomes.com  
 Visit our website: www.prestigeparkandleisurehomes.com

Please note that plan and elevations are a guide and should be used for illustrative purposes only. The external dimensions of the unit are subject to variation, dependant upon the exterior finish specified.





## ITEM 8

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<b>APPLICATION NO.</b>	22/02176/FULLS
<b>APPLICATION TYPE</b>	FULL APPLICATION - SOUTH
<b>REGISTERED</b>	25.08.2022
<b>APPLICANT</b>	Mr Stuart Wilson
<b>SITE</b>	109A Winchester Road, Romsey, Hampshire, SO51 8JF, <b>ROMSEY TOWN</b>
<b>PROPOSAL</b>	Erection of 8 dwellings, 3 carports and access road
<b>AMENDMENTS</b>	Drawing 01 W 06 J Received 15 September 2022
<b>CASE OFFICER</b>	Sarah Barter

Background paper (Local Government Act 1972 Section 100D)

[Click here to view application](#)

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### 1.0 INTRODUCTION

- 1.1 This application is presented to Southern Area Planning Committee at the request of two local ward members because the application raises issues of more than local public interest.

### 2.0 SITE LOCATION AND DESCRIPTION

- 2.1 The proposed site is located within Romsey Town to the rear of properties on Winchester Road and Tadfield Road. The site is accessed from Winchester Road through an existing entrance adjacent to the recently closed Cycle World store. The railway line is located in an elevated position to the north of the site. The land is currently laid to grass and hardstanding. Also present on site is an unmaintained garage block.

### 3.0 PROPOSAL

- 3.1 Erection of 8 dwellings, 3 carports and access road
- 3.2 This application is the third application on this site for housing. The planning history is detailed below at paragraph 4.0 onwards. This current application seeks to amend the design of the dwellings particularly with the detached examples with a flat roof proposal.

Details of dwellings proposed as follows:

#### Plots 1 and 3

Two storey detached dwelling

4 bedroom

Green roof with PV panels

Grey stock brick and mid grey Siberian larch vertical boarding

Powder coated aluminium windows

Plot 2

Two storey detached dwelling

4 bedroom

Green roof with PV panels

White render and dark grey Siberian larch vertical boarding

Powder coated aluminium windows

Plots 4 – 8

1 x coach house – 2 bedroom

2 x two storey semi-detached pairs with room in roof space - 3 bedroom

Natural grey slate

Grey stock brick and mid grey Siberian larch vertical boarding

Powder coated aluminium windows

4.0 **HISTORY**

4.1 21/03600/FULLS - Erection of 8 dwellings and access road – Refuse for the following reasons:

*01. The proposed development at Plots 1-3, by reason of their height, siting and scale would result in an unacceptable enclosing and overbearing impact on Numbers 10, 12, 18, 20 & 22 Tadfield Road when viewed from their gardens and habitable rooms. The benefits of the scheme advanced by the applicant are acknowledged, however, the Council can currently demonstrate a 5 year housing land supply and there is therefore no pressing need to allow further housing. Furthermore, the economic benefits are generic and could be delivered on other sites that do not result in conflict with the development plan and the proposal offers no meaningful bio diversity net gain. The benefits advanced do not outweigh the real and severe harm identified to the residential amenities of the properties listed above. As a consequence, the proposed development does not sufficiently provide for the amenity of these neighbouring properties, contrary to Policies LHW4 and COM2 of the Test Valley Borough Revised Local Plan (2016).*

*02. In the absence of a legal agreement to secure and monitor the proposed mitigation measures enabling the achievement of nitrate neutrality, the proposed development by means of its nature, location and scale could have likely significant affects upon the nearby Solent and Southampton Water European Designated Site which is designated for its conservation importance. Consequently, the application has failed to satisfy the Council that the proposal would not adversely affect the special interest of the Solent and Southampton Water European Designated Site, therefore the application is contrary to Policies COM2 and E5 of the adopted Test Valley Borough Revised Local Plan (2016) and the Conservation of Habitats and Species Regulations 2017 (as amended).*

*03. The site lies within close proximity to the New Forest SPA which is designated for its conservation importance. In the absence of a legal agreement, the application has failed to secure the required mitigation measures, in accordance with the Council's adopted 'New Forest SPA Mitigation - Interim Framework'. As such, it is not possible to conclude that the development would not have an in-combination likely significant effect on the interest features of this designated site, as a result of increased recreational pressure. The proposed development is therefore contrary to the Council's adopted 'New Forest SPA Mitigation - Interim Framework', Policy E5 of the adopted Test Valley Borough Revised Local Plan (2016) and the Conservation of Habitats and Species Regulations 2017 (as amended).*

4.2 21/02619/FULLS - Erection of 9 houses 4 x 4 bed detached and 5 x 3 bed semi-detached and terrace, new access road – Refuse for the following reasons:

*01. The proposed development, as a result of the back land location and shape of the site, would result in an overdeveloped and contrived form of development that would introduce nine additional dwellings with plot sizes at a smaller scale and size than is common within the neighbouring properties at Winchester Road and Tadfield Road. The size, scale and mass of the dwellings and the resultant private garden areas would not complement, respect or integrate with the character of the area. The proposal is therefore contrary to Policy E1 of the Test Valley Borough Revised Local Plan (2016).*

*02. The proposed development would result in direct views from the proposed first floor windows at plots 1 – 3 towards the private rear gardens of neighbouring properties on Winchester Road. Such views would be at a distance where the privacy of the existing occupiers of the properties at Winchester Road would be adversely affected contrary to policy LHW4 and COM2 of the Test Valley Borough Revised Local Plan 2016.*

*03. The proposed development, by reason of its height, siting and scale together with the perception of direct overlooking from the first floor windows on the southern elevation would result in an unacceptable enclosing and overbearing impact on all neighbouring properties at Tadfield Road which are adjacent the site with particular concern in respect of the presence of plot 1 across the entire rear aspect of number 10 Tadfield Road and plot 3 across the entire rear aspect of number 20 Tadfield Road. As a consequence, the proposed development does not sufficiently provide for the amenity of these neighbouring properties, contrary to Policies LHW4 and COM2 of the Test Valley Borough Revised Local Plan (2016).*

04. *The proposed development would result in the proposed private outdoor amenity space at Alamaur to be in shadow for a large majority of the day and result in the presence of the two storey side elevations of both plots 4 and 7 being sited immediately adjacent the amenity spaces boundaries. This would create an unacceptable enclosing and overbearing impact on this neighbouring property. As a consequence, the proposed development does not sufficiently provide for the amenity of this neighbouring property, contrary to Policies LHW4 and COM2 of the Test Valley Borough Revised Local Plan (2016).*
05. *The proposed development, by reason of the provision of 9 dwellings across the site, would result in garden areas that are not of an adequate size and its layout would not provide the necessary amenity to future occupants. The garden areas would also be subject to an unacceptable level of overshadowing throughout the day. As a consequence, the proposed development does not sufficiently provide for the amenity of this neighbouring property, contrary to Policies LHW4 and COM2 of the Test Valley Borough Revised Local Plan (2016).*
06. *The application fails to demonstrate that the layout, access and highway network is safe, functional and accessible for all users and that the development does not have an adverse impact on the function, safety and character of and accessibility to the local highway network. The development is contrary to policy T1 of the Revised Borough local Plan.*
07. *Inadequate survey and mitigation information has been submitted in order for the local planning authority to conclude that the proposed development would not have an adverse impact on protected species. The proposed development is therefore considered contrary to Policy E5 and Policy COM2 of the Test Valley Borough Revised Local Plan (2016) and the Conservation of Habitats and Species Regulations 2017 (as amended).*
08. *The site lies within close proximity to the New Forest SPA which is designated for its conservation importance. In the absence of a legal agreement, the application has failed to secure the required mitigation measures, in accordance with the Council's adopted 'New Forest SPA Mitigation - Interim Framework'. As such, it is not possible to conclude that the development would not have an in-combination likely significant effect on the interest features of this designated site, as a result of increased recreational pressure. The proposed development is therefore contrary to the Council's adopted 'New Forest SPA Mitigation - Interim Framework', Policy E5 of the adopted Test Valley Borough Revised Local Plan (2016) and the Conservation of Habitats and Species Regulations 2010 (as amended).*

*09. In the absence of a legal agreement to secure and monitor the proposed mitigation measures enabling the achievement of nitrate neutrality, the proposed development by means of its nature, location and scale could have likely significant effects upon the nearby Solent and Southampton Water European Designated Site which is designated for its conservation importance. Consequently, the application has failed to satisfy the Council that the proposal would not adversely affect the special interest of the Solent and Southampton Water European Designated Site, therefore the application is contrary to Policies COM2 and E5 of the adopted Test Valley Borough Revised Local Plan (2016) and the Conservation of Habitats and Species Regulations 2017 (as amended).*

**5.0 CONSULTATIONS**

5.1 Highways – No Objection subject to conditions

5.2 Natural England – Response awaited. Previous scheme was agreed.

5.3 Network Rail – Comments

*Due to the close proximity of the proposed works to Network Rail's land and the operational railway, Network Rail recommends that the applicant / developer engages with Network Rail's Asset Protection and Optimisation (ASPRO) team via [AssetProtectionWessex@networkrail.co.uk](mailto:AssetProtectionWessex@networkrail.co.uk) prior to works commencing. This will allow our ASPRO team to review the details of the proposal to ensure that the works can be completed without any risk to the operational railway.*

*The applicant / developer may be required to enter into an Asset Protection Agreement to get the required resource and expertise onboard to enable approval of detailed works. More information can also be obtained from our website <https://www.networkrail.co.uk/running-the-railway/looking-after-the-railway/asset-protection-and-optimisation/>.*

*Where applicable, the applicant / developer must also follow the attached Asset Protection informatives which are issued to all proposals within close proximity to the railway (compliance with the informatives does not remove the need to engage with our ASPRO team).*

5.4 Ecology – No Objection subject to conditions

5.5 Landscape – No Objection subject to condition

5.6 Environmental Health – No Objection subject to conditions

5.7 Refuse – Comments (Taken from previous application)

Provided the turning is on site for the size tracked the Council should be able to provide an onsite collection either in the form of the current vehicle or as an addition to the narrow access vehicle route.

6.0 **REPRESENTATIONS** Expired 25.10.2022

6.1 Romsey Town Council – Objection

The height of the 3 detached dwellings on the application are overbearing in relation to dwellings at Tadfield Rd No 10, 12, 18, 20 and 22 and will have an adverse effect on their amenity.

6.2 21 x emails/letters – Objection

Principles of development

- 5 year HLS already met

Design

- Overdevelopment
- Out of character
- Does not integrate, respect and complement the area
- Green roofs unless properly maintained will become an eye sore
- A scheme of much smaller dwellings may be able to be fit into this plot if well designed.
- Outside space insufficient for a modern family

Access

- Too narrow for the amount of traffic
- Visitor space inadequate

Parking

- Inadequate parking
- Not enough visitor parking

Neighbouring property

- Overbearing in close proximity to neighbours at Tadfield Road.
- Not adequate amendment to overcome previous reason for refusal
- Overlooking towards Winchester Road
- Noise impacts from new occupiers
- Plans lack details of extensions to houses on Tadfield Road

Amenity

- Noise impacts on future occupiers

Ecology

- Swift bird bricks should be included in all development
- Removal of mature trees results in loss of biodiversity and wildlife habitats

Water management

- Will contribute to flooding
- Sewage system connection struggles with modern usage

Trees

- No report from the Tree Officer despite concerns from residents.

Other matters

- Developers motivation is financial

6.3 1x email - Support

7.0 **POLICY**

7.1 Government Guidance

National Planning Policy Framework (NPPF)

National Planning Practice Guidance (NPPG)

7.2 Test Valley Borough Revised Local Plan (2016)(RLP)

COM2 – Settlement boundary

E1 – High quality development in the Borough

E2 – Protect, conserve and enhance the landscape character of the Borough

E5 – Biodiversity

E7 – Water management

E8 – Pollution

LHW4- Amenity

T1 – Managing movement

T2 – Parking standard

7.3 Supplementary Planning Documents (SPD)

Romsey Town Design Statement

8.0 **PLANNING CONSIDERATIONS**

8.1 The main planning considerations are:

- Principle of development
- Impact on the character and appearance of the surrounding area
- Impact on neighbouring properties
- Noise and vibration
- Highway safety and parking provision
- Trees
- Ecology
- Nitrate Neutrality
- Water Management
- Planning Balance

8.2 **The principle of development**

The site is situated within the Romsey settlement boundary as defined in the Test Valley Borough Revised Local Plan 2016 (RLP). As a result, provided the proposed development complies with the other relevant policies of the RLP, it would be acceptable in principle.

8.3 **Impact on the character and appearance of the surrounding area**

The site is located within Romsey to the rear of properties on the Winchester Road and Tadfield Road. The site is accessed from Winchester Road through an existing entrance adjacent to the recently closed Cycle World store. The railway line is located in an elevated position to the north of the site. The site is not within the Romsey Conservation Area and no Listed Buildings are present on site or immediately adjacent to it. The site is relatively flat and is mainly laid

to grass with some storage buildings proposed to be demolished. There are two existing dwellings at either end of the land - Priestlands and Alamaur which are proposed to be retained. The rear garden boundaries of the neighbouring properties are generally fenced with walls of a maximum height of 2m with sporadic hedging and trees.

- 8.4 The site is not seen from Winchester road itself, but the site is surrounded by the existing, mostly residential development on neighbouring roads. It is a constrained site by virtue of its access, shape, size and boundaries. Whilst this space is within an urban area, garden vegetation is very much part of the surrounding character seen in gardens and frontages in the locality.
- 8.5 The properties surrounding the site are all two storey dwellings and the dwellings on Winchester Road are predominantly Victorian. The Romsey Town Design Statement sets out that the dwellings are brick built with pitched, slate roofs, with a number having added extensions to the rear or in the loft space. The properties on Tadfield Road are much later in style. The Design Statement sets out that there are 62 dwellings within this area built over a 20 year period. All dwellings are of a similar age and of a similar appearance when viewed from the public realm, but most have replaced their original crittall windows with UPVC and benefit from a variety of extensions.
- 8.6 This application under consideration is for 8 houses in total. To the Northern end of the site, adjacent to the railway line, three 3 bedroom semi-detached properties and one two bedroom coach house are proposed. Three 4 bedroom detached properties are located across the southern boundary.
- 8.7 Average plot sizes (approx. measured on Council mapping and using information provided within the application submission)

<b>Existing properties</b>	<b>Plot size (HA)</b>
115 Winchester Road	0.018
117 Winchester Road	0.019
119 Winchester Road	0.019
121 Winchester Road	0.025
123 Winchester Road	0.029
125 Winchester Road	0.024
127 Winchester Road	0.019
129 Winchester Road	0.017
<b>AVERAGE</b>	<b>0.021</b>
109a Winchester Road (Priestlands)	0.043
Alamour Winchester Road	0.034
<b>AVERAGE</b>	<b>0.038</b>
10 Tadfield Road	0.018
12 Tadfield Road	0.024
14 Tadfield Road	0.024
16 Tadfield Road	0.017



18 Tadfield Road	0.016
20 Tadfield Road	0.030
22 Tadfield Road	0.026
<b>AVERAGE</b>	<b>0.022</b>
<b>OVERALL AVERAGE ACROSS ALL NEIGHBOURING PROPERTIES</b>	<b>0.023</b>

<b>Proposed Properties current application</b>	<b>Plot size (HA)</b>
Plot 1	0.03
Plot 2	0.03
Plot 3	0.03
<b>AVERAGE ACROSS DETACHED PLOTS</b>	<b>0.03</b>
Plot 4	0.02
Plot 5	0.02
Plot 6	0.01
Plot 7	0.02
Plot 8	0.02
<b>OVERALL AVERAGE ACROSS PROPOSED DWELLINGS</b>	<b>0.0225</b>

- 8.8 It is considered that overall the plot sizes for the proposed development are comparable with those in the locality. The proposed detached plots are on average slightly larger than neighbouring examples. On previous applications the plot sizes were not considered to be substantial enough to successfully accommodate the proposed 4 bed dwellings over three floors. As a result the dwellings have been amended previously to remove one unit from the row of detached dwellings and the rooms in the roof have also been removed allowing for greater space around each plot. The garden areas for the dwellings are sited to the rear and side of the dwellings with a car port and two parking spaces also provided for each property. This current submission amends these detached dwellings further with the proposed flat roof design and the use of vertical timber cladding and render. Whilst this design is a departure from other examples in the immediate area there is not one specific design character here. It is considered that the approach taken creates its own character within the space available and with the use of the high quality materials proposed the plot sizes are considered to be appropriate for the size of plots provided in this town centre location.
- 8.9 It is considered that the development ensures appropriate housing is delivered within the settlement boundary, making efficient use of the land whilst respecting the character and appearance of the surrounding area. The proposal is considered to be in accordance with policy E1 of the Test Valley Borough Revised Local Plan (2016).

**8.10 Impact on neighbouring properties**

115 to 129 Winchester Road

These neighbours are sited to the north of the site in terrace rows, the properties are Victorian in style and due to the terrace nature of the properties have long and thin gardens with the depths from the rear walls to the boundaries with the application site of between approx. 17m and 20m. The boundaries are formed of breeze block with fencing over of approx. 2m in height.

8.11 Only plot 1 is located directly to the rear of Winchester Road properties. Plot 2 is partially sited across part of number 129 Winchester Road's rear boundary with 129 being the last dwelling in the row. Plot 3 is positioned further east away from the row of Winchester Road neighbours. Plot 1 has four first floor windows facing 120 / 121 Winchester Road serving 2 bedrooms, a stairwell and a bathroom. Plot 2 would also have 4 windows at first floor, 2 serving a bedroom, one serving a bathroom, and the final window serving a stairwell. The ground floor openings would be screened from these neighbours by the existing boundary treatment.

8.12 Given the size and scale of dwellings proposed, the separation distance from elevation to elevation, the type of rooms the windows are serving and the obscure glazing within the bathrooms, it is considered that the level of overlooking and perceived overlooking towards these neighbours would not create a significant adverse impact on the residential amenities of these neighbouring properties.

8.13 The proposed plots 1 – 2 are located to the south of these neighbouring properties so shadow would be cast towards the rear gardens throughout the day. The shadow created would fall across the area closest the development site at these neighbouring properties only. Given the depth of the gardens of between 22m and 26m, it is not considered that the impacts in respect of shadow cast is significant enough to result in a reason for refusal. Similarly given the garden depth it is not considered that the presence of the dwellings would result in a significant loss of light at these neighbouring properties. Subject to conditions ensuring the appropriate windows are obscurely glazed and permitted development rights are removed for any further windows in the northern elevation it is considered that the development can be provided in accordance with policy LHW4 of the Revised Local Plan 2016.

8.14 10 to 22 Tadfield Road

These neighbours from part of two terrace rows and a semi-detached pair and are located to the south of the application site. They are bounded by varying heights of shrubbery together with breeze block and fencing. Plots 10 – 18 have a rear access between the boundary with the application site and the rear boundary of the gardens. The gardens of numbers 20 and 22 extend to the boundary with the application site. The rear garden depths are between approx. 12.5m and 14m. Comments have been made in the third party

representations in respect of the presence of single storey rear extensions at several of these neighbours. These have been shown on a site layout plan P 01 W. When including the extensions the garden depth vary between approx 8.5m and 14m. All 3 proposed detached dwellings would be located adjacent the southern boundary.

8.15 The previous application included the following reason for refusal:

*01. The proposed development at Plots 1-3, by reason of their height, siting and scale would result in an unacceptable enclosing and overbearing impact on Numbers 10, 12, 18, 20 & 22 Tadfield Road when viewed from their gardens and habitable rooms. The benefits of the scheme advanced by the applicant are acknowledged, however, the Council can currently demonstrate a 5 year housing land supply and there is therefore no pressing need to allow further housing. Furthermore, the economic benefits are generic and could be delivered on other sites that do not result in conflict with the development plan and the proposal offers no meaningful bio diversity net gain. The benefits advanced do not outweigh the real and severe harm identified to the residential amenities of the properties listed above. As a consequence, the proposed development does not sufficiently provide for the amenity of these neighbouring properties, contrary to Policies LHW4 and COM2 of the Test Valley Borough Revised Local Plan (2016).*

8.16 *Plot 1*

Plot 1s separation distance from the southern boundary has increased from the previous application from approx. 2.8m to between 3.4m for the single storey projection and 5.2m for the two storey element. The dwelling is now sited partially across the rear aspect of number 10 and all of number 12 Tadfield Road. The rear elevation facing these neighbours would be visible over the boundary treatment. One window is proposed at first floor facing these neighbouring properties. This would be approx. 50cm x 60cm in size, obscurely glazed and serving a bathroom. The previous application roof height to the ridge was approx. 8.5m with eaves heights at approx. 5m and 3.8m and hipped roofs to the rear. The now proposed flat roof arrangement has a total height of approx. 5.7m. The combination of the reduced roof height, one small obscured window only, and the re-positioning of the dwelling in the plot results in a development which would not create any significant impacts in terms of overbearing impacts. Whilst the development would be visible from these neighbouring properties the separation distances and overall height ensure no sense of enclosure as a result of overlooking, overshadowing or loss of light. Given the amendments made to the previously refused application, the development is considered to accord with LHW4 of the Revised Borough Local Plan. Subject to a condition ensuring no further windows are installed under permitted development (PD) it is considered that the development can be provided in accordance with policy LHW4 of the Revised Local Plan 2016.

8.17 *Plot 2*

This previous proposal located this plot between approx. 2.7m and 4.9m from the southern boundary of the application site due to the staggered rear elevation layout. This current submission increases this distance to between approx. 4m and 5.8m. The dwelling would be located across the rear aspects of numbers 18 and 20 Tadfield Road. The rear elevation facing this neighbour is formed of a flat roof of approx. 5.7m in height and a obscured first floor bathroom window of 50cm x 60cm. The combination of the reduced roof height, the obscured window, and the re-positioning of the dwelling in the plot, results in a development which would not create any significant adverse impact in terms of overbearing and enclosing impact as a result of overlooking, overshadowing or loss of light. Subject to conditions ensuring the appropriate window is obscurely glazed and no further windows are installed under Permitted development it is considered that the development can be provided in accordance with policy LHW4 of the Revised Local Plan 2016.

8.18 *Plot 3*

This dwelling is located across the rear aspect of number 22 Tadfield Road. Previously this dwelling has been sited between approx 2.5m and 5.1m away from the boundary due to the staggered rear elevation. This current application sites the dwelling between approx. 3.7m and 5.5m from the boundary. The rear elevation appearance is the same as plot 1 including the first floor bathroom window. The rear garden of this neighbour benefits from a high hedge across the boundary. It is understood that this hedge is within the ownership of the applicant. The submitted landscape plan proposes a new 2m high close board fence and a semi mature yew hedge along this boundary. Taking into account the re-positioning of the dwelling and separation distance between 22 Tadfield Road and this plot it is not considered that the development would result in any overbearing or enclosing impacts in terms of overlooking, overshadowing or loss of light. Subject to conditions ensuring the appropriate window is obscurely glazed and no further windows are installed under Permitted Development it is considered that the development can be provided in accordance with policy LHW4 of the Revised Local Plan 2016.

8.19 Priestlands

This neighbour is located on the western side of the development site adjacent to plot 3. Taking into account the location of the rear garden at Priestlands on the western side of the dwelling away from the application site it's not considered that the proposals would create any significant impacts on this neighbouring property.

8.20 Alamaur

Alamaur is located to the east of the application site. As a result of the development the approx. garden depth would be 6.2m with the side gable end elevation of plot 3 being present adjacent. The side elevation of plot 4 is also adjacent to this garden to the north. Plot 3 has been moved approx. 6.4m away from the boundary with this neighbour and with plot 4 approx. 4.1m away. Given the separation distances and locations of the proposed plots it's not considered that the developments would create any significant adverse impacts in terms of overshadowing, loss of light or overbearing impacts. Plot 4

proposes 1 first floor window which serves a stairwell only. Plot 3 proposes 1 first floor window serving a bedroom facing this neighbouring property. Given the separation distances and the type of rooms the windows serve it is not considered that there would be any significant impacts in terms of overlooking. Subject to a condition ensuring no further windows are installed under Permitted Development it is considered that the development can be provided in accordance with policy LHW4 of the Revised Local Plan 2016.

#### 8.21 Future Occupiers

##### *Plots 1 – 3*

The proposed dwellings ensure sufficient outdoor amenity space is provided which is not significantly overlooked. It is considered that the development can be provided in accordance with policy LHW4 of the Revised Local Plan 2016.

#### 8.22 *Plot 4- 8*

This layout within the north eastern corner of the development site ensures no significant overlooking between these new dwellings would occur. It is considered that the development can be provided in accordance with policy LHW4 of the Revised Local Plan 2016.

#### 8.23 **Noise and Vibration**

The residential nature of this location adjacent the railway line is already well established. Despite this, noise and vibration needs to be accounted for when considering the design of new properties that could be affected by noise and vibration from the railway track and Winchester Road noise. This is of particular concern at the smaller properties of plots 5-9. The applicant has submitted a Noise and Vibration assessment. The report identifies the level of sound reduction required by the glazing and also recognises that noise levels within dwellings with facades in proximity to and directly facing the railway may exceed the design targets. Therefore, mechanical ventilation would be required for those dwellings/rooms in order to maintain acceptable noise levels whilst also keeping windows shut. Condition 9 ensures that a scheme detailing the sound insulation measures to be installed is consistent with the information provided and is secured prior to occupation of these dwellings. The vibration levels from trains measured on site have been determined to be below a level which it would be expected to result in low probability of adverse comment and below the requirements for a planning condition.

#### 8.24 **Contamination**

The applicant has clarified that there is no evidence that this land has ever been used for anything but garden for over 30 years so it is very unlikely that any contamination will be present because of its current use. The applicant also advises that a large percentage of the top soil will be removed to develop the site and this will be picked up via the waste management companies. These companies carry out spot test on all loads when coming from a new site to check for any such contaminates. Following discussion with the EHO condition 11 secures the reporting of the presence of any contamination to the LPA and a scheme for remediation of that contamination.

**8.25 Highway Safety**

Following previous concerns with regard to site access visibility splays and refuse vehicle tracking, the applicant has submitted an amended Transport Statement dealing with these issues. The submitted vehicle tracking suggests a private management arrangement being available in the event that TVBC could no longer adequately serve the site with a larger refuse vehicle whereby refuse would be moved on collection day to a collection point within 5m of the public highway. The Council's waste services team are satisfied that this could be adequately conditioned/controlled and therefore the Highway Authority are content with this approach and the proposal can be considered acceptable on this basis.

8.26 The Highway Authority has undertaken a further detailed review of the access proposal on site. A further speed survey has also been undertaken which has indicated lower 85th %ile speeds to those recorded by the applicant. Following this further review, the Highway Authority is content to offer no objection to the proposed access visibility splays subject to a condition being attached to the recommendation requiring the visibility splays to be fully maintained for the lifetime of the development.

**8.27 Refuse**

The Council Waste and Recycling Officer has confirmed that as existing Alamaur puts their own bins out on the main road as the Council RCV cannot reverse down such a narrow access trackway from Winchester Road. Given the location of the site on a busy road near the railway bridge and the narrow access onto the site from Winchester Road the RCV as a result of the development would continue to be unable to reverse into the site. The operatives also have to minimise the time the RCV is parked on the busy road. The Officer advises that the RCV could drive forward into the site and then use the turning point highlighted on the site plan. As a Swept Path Analysis has been carried out using the RCV length of 10.042 metres this would allow the vehicle to turn on site and leave in a forward gear. The Officer confirms there are no plans to change the existing RCVs or have vehicles of greater length.

8.28 If for any reason the use of the existing RCV used to collect waste in this area is not practical, the Waste collection team would take this development off the normal waste collection round and put it onto the 'Narrow Access' round. The vehicle used for this round is shorter in length than the RCV and would also be able to utilise the turning circle. The Officer advises that food waste collections will be introduced from 2023 onwards. The RCV used for food waste will be shorter in length and so that vehicle should be able to safely gain access to the site. The RCV used to collect garden waste is 10.042 metres long. Again the turning circle could be utilised on site. Subject to conditions ensuring the turning circle and visibility splays are provided it is considered that the development can be provided in accordance with policy T1 of the Revised Borough Local Plan 2016.

### 8.29 **Parking Provision**

The proposal provides for the parking standards set out within the Revised Borough Local Plan 2016. The proposed car ports are also of appropriate size to accommodate a vehicle. Representations have been made in respect of visitor parking spaces. The parking policy allows for variation where the Council is satisfied that there is likely to be a low demand for a private car/visitor space. Given the town centre location of the site in close proximity to bus routes, the town amenities, and train station the site is considered to be in an accessible location where alternative sustainable modes of transport exist. As such the reduced visitor parking provision in this instance is considered appropriate. Subject to a condition ensuring that car ports and parking spaces would be available for parking at all times it is considered that the development can be provided in accordance with policy T2 of the Revised Borough Local Plan 2016.

### 8.30 **Trees**

Comments have been received about a lack of Tree Officer input on the application. The Case Officer has spoken with the Tree Officer about the proposals and the removal of tree and hedgerow features on the boundaries with Tadfield Road. These trees and hedgerow do not have any public amenity benefit due to the location between private amenity areas and not visible from the public realm. Furthermore these features appear to be unmaintained and possibly stemmed from the hedgerow. Given the application acknowledges the presence of these landscape features and provides indicative landscape plans – ref: P 27 which includes significant planting together with the retention of existing hedging and trees it is considered that the proposal creates a robust landscape character and habitat in accordance with policy E2 which looks to protect, conserve and enhance.

### 8.31 **Ecology**

This current application is supported by a Preliminary Ecological Appraisal (Middlemarch Environmental, May 2021), Preliminary Bat Roost Assessment (Middlemarch Environmental, May 2021), Dusk Emergence and Dawn Re-entry Bat Surveys (Middlemarch Environmental, May 2021) and ecology update letter (Middlemarch Environmental, November 2021). The Council Ecologist is satisfied that these ecology assessments have been conducted in a thorough professional manner, and represents the current condition of the site. The building on site was assessed as having low bat roost potential, and was therefore subject to a single emergence survey in accordance with best practice guidelines (Bat Conservation Trust, Collins, 2016). No bats were observed emerging from or re-entering the building during these surveys, and roosting bats were therefore considered unlikely to be impacted by the proposals. Bats receive protection under UK law via the Wildlife and Countryside Act 1981 (as amended) and under EU law by the Habitats Directive, which is transposed into UK law by the Conservation of Habitats and Species Regulations 2017 (commonly referred to as the Habitats Regulations). Developments that affect legally protected species are also likely to be contrary to policy E5 of the Test Valley Revised Local Plan DPD. Developments that affect bats will need a European Protected Species (EPS) licence from Natural England before any work that affects bats could commence.

- 8.32 Local Planning Authorities are required to engage with the Regulations – planning permission should be granted (other concerns notwithstanding) unless the development is likely to result in a breach of the EU Directive and, if a breach is considered likely, that the development is unlikely to be granted an EPS licence from Natural England to allow the development to proceed under a derogation from the law. In view of the survey findings the Council Ecologist would advise that the development is unlikely to result in a breach of the law protecting bats.
- 8.33 The Council do not yet have an adopted policy on formal biodiversity net gain requirements. Whilst the previous reason for refusal did highlight that the proposal offers no meaningful biodiversity net gain biodiversity enhancements have been proposed within the scheme, with the locations of these features highlighted within the Proposed Site Layout and landscape drawings. Ecological enhancements include 3 bat boxes, 2 bird nests boxes, 3 sparrow nest boxes and 2 log piles. Provided that the agreed mitigation proposals are implemented, the Council Ecologist would have no concerns over these proposals. Subject to a condition and informative note it is considered that the development can be provided in accordance with policy E5 of the Revised Borough Local Plan and the Conservation of Habitats and Species Regulations 2017 (as amended).
- 8.34 **New Forest Special Protection Area**  
In line with Policy E5 and Section 11 of the NPPF, consideration should be given to potential implications on international designations. The development would result in a net increase in residential dwellings within 13.6km of the New Forest SPA. This distance defines the zone identified by recent research where new residents would be considered likely to visit the New Forest. The New Forest SPA supports a range of bird species that are vulnerable to impacts arising from increases in recreational use of the Forest that result from new housing development. While clearly one new house on its own would not result in any significant effects, it has been demonstrated through research, and agreed by Natural England (the governments statutory nature conservation advisors, who have provided comments on this proposal) that any net increase (even single dwellings) would have a likely significant effect on the SPA when considered in combination with other plans and projects.
- 8.35 To address this issue, Test Valley Borough Council has adopted an interim mitigation strategy whereby a scale of developer contributions of £1300 per new dwelling has been agreed that would fund the delivery of a new strategic area of alternative recreational open space that would offer the same sort of recreational opportunities as those offered by the New Forest. This payment has been secured in the S106 agreement. At the time of writing this agreement is not signed and the recommendation is made subject to the completion of this agreement.



### 8.36 **Nitrate Neutrality**

The River Test and its major tributaries flow into the Solent. The Solent region is one of the most important for wildlife in the United Kingdom. There are currently high levels of nitrogen and phosphorus input into this water environment and there is evidence to suggest that this is having a detrimental impact on the biodiversity of this area. Housing and other certain types of development are currently contributing negatively towards this issue and there is evidence that further development, without mitigation, would exacerbate this impact.

The Solent region consists of the following Special Areas of Conservation (SAC) and Special Protection Areas (SPA):

- Chichester and Langstone Harbours SPA
- Portsmouth Harbour SPA
- Solent and Southampton Water SPA
- Isle of Wight Lagoons SPA
- Solent Maritime SAC
- Solent and Dorset Coast SPA (Proposed)

8.37 These sites are protected by National and European Law which requires the Council to undertake a formal assessment of the implications of any new plans or projects that may be capable of affecting the designated interest features of European Sites before deciding whether to grant planning permission for new residential development. This formal assessment is known as an Appropriate Assessment and considers the potential adverse effects of a plan or project (in combination with other plans or projects) on Special Areas of Conservation and Special Protection Areas. The European Court of Justice recently determined a case related to considering water quality in Appropriate Assessments. The impact of the case law is that any development which could result in a decrease in water quality would cause a likely significant effect on the Solent's European sites.

8.38 In the context of planning, the impact comes from population increase and the resultant increase in effluent. Proposed developments for new housing, hotels and care homes (as well as other forms of overnight accommodation) are being affected by the issue as a result. A finalised nitrate budget calculation and proposed mitigation has been submitted and an Appropriate Assessment submitted to Natural England. Natural England raise no objection subject to securing mitigation in perpetuity. The mitigation off-setting land is within the catchment area for the River Test and a management plan has been produced for its long term maintenance and monitoring to ensure that the nitrates are offset in perpetuity. This is secured through a s106 agreement which is not yet complete. The recommendation is made subject to the completion of this agreement. Subject to completion of the S106 agreement the proposed development does not conflict with the Habitats Regulations and accords with Policy E5 of the TVBRLP.

**8.39 Water Management**

Water consumption

The Revised Local Plan includes a requirement under policy E7 for all new residential dwellings to achieve a water consumption standard of no more than 100 litres per person per day. This reflects the requirements of part G2 of the 2015 Building Regulations. It is recommended that a condition be added in order to address this. Subject to such a condition the proposal would comply with policy E7 of the Revised Local Plan 2016.

**8.40 Drainage – surface water**

Surface water drainage is proposed to be controlled through attenuation storage and the provision of water butts. Subject to an appropriate condition ensuring this is provided it is considered that the development can be provided in accordance with policy E7 of the Revised Borough Local Plan 2016.

**8.41 Drainage – Foul**

It is proposed to connect to the public sewer which is located on Winchester Road.

**8.42 Flood Risk**

A large majority of the site is within Flood Zone 1. The access route from Winchester Road and a small area of space between plots 3 and 4 are located within flood zone 2. No dwellings are proposed to be erected within the flood zone 2 areas.

**8.43 Planning Balance**

Whilst in the main concerns have been raised by third parties that the proposal represents overdevelopment which creates significant impacts on adjacent neighbouring properties these matters are not afforded significant weight in the planning balance given the proposal has been amended since the previous refusal further reducing the height and amending the siting of the proposed detached dwellings. As a result the proposal is considered acceptable in both technical and professional judgement terms. There is no conflict with Policies LHW4, E1 and E2 of the TVBRLP and the proposal therefore meets the requirements of the development plan and NPPF.

8.44 Significant weight in the planning balance must be afforded to the site being located within the settlement boundary of Romsey and that the proposal complies with the Local Plan which represent up to date planning policy. The development is designed, sited and is of a scale that is appropriate to the setting and character of the surrounding area and adjacent neighbouring properties to which moderate weight is attached. The previous reason for refusal states that the economic benefits are generic and can be delivered on other sites. The weight given to the proposal delivering housing and the broad economic benefits associated with housing developments is significant particularly when in all other respects the proposal is considered to be in accordance with the Local Plan. Furthermore moderate weight is also afforded

to achieving high quality development. The NPPF requires the determination of an application in accordance with the development plan unless material considerations indicate otherwise. Having due consideration to the benefits of the scheme the proposal is recommended for permission because the balance is clearly in favour of doing so and clearly outweighs any harm created by the development.

**9.0 CONCLUSION**

9.1 The proposal is considered acceptable and in accordance with the development plan.

**10.0 RECOMMENDATION**

**Delegate to Head of Planning and Building**

- **To secure a satisfactory response from Natural England on nitrate neutrality**
- **To secure S106 agreement for Nitrate neutrality solution**
- **To secure 106 agreement for New Forest SPA contribution**

**Then PERMISSION subject to:**

1. **The development hereby permitted shall be begun within three years from the date of this permission.**  
**Reason: To comply with the provision of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.**
2. **The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers**  
**P 01 W**  
**P 03 G**  
**P 06 J**  
**P 07 D**  
**P 08 D**  
**P 11 B**  
**P27**  
**P29**  
**105**  
**28**  
**Reason: For the avoidance of doubt and in the interests of proper planning.**
3. **No development shall take place above DPC level of the development hereby permitted until samples and details of the materials to be used in the construction of all external surfaces hereby permitted have been submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.**  
**Reason: To ensure the development has a satisfactory external appearance in the interest of visual amenities in accordance with Test Valley Borough Revised Local Plan (2016) Policy E1.**

- 4. No development shall take place above DPC level of the development hereby permitted until full details of hard and soft landscape works have been submitted and approved. Details shall include-where appropriate: means of enclosure; car parking layouts; other vehicle and pedestrian access and circulation areas; hard surfacing where relevant.**

**Soft landscape works shall include: planting plans; written specifications (including cultivation and other operations associated with plant and grass establishment); schedules of plants, noting species, plant sizes and proposed numbers/densities.**

**The landscape works shall be carried out in accordance with the implementation programme and in accordance with the management plan.**

**Reason: To improve the appearance of the site and enhance the character of the development in the interest of visual amenity and contribute to the character of the local area in accordance with Test Valley Borough Revised Local Plan (2016) Policy E1 and E2.**
- 5. No development shall take place above DPC level of the development hereby permitted until a schedule of landscape management and maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The landscape management plan, including long term design objectives, management responsibilities and maintenance schedules for all landscape areas and an implementation programme, shall be submitted to and approved in writing by the Local Planning Authority. The approved management plan shall be carried out in accordance with the implementation programme.**

**Reason: To ensure the provision of amenity afforded by proper maintenance of existing and new landscape features as an improvement of the appearance of the site and to enhance the character of the development in the interest of visual amenity and contribute to the character of the local area in accordance with Test Valley Borough Revised Local Plan (2016) Policy E1 and E2.**
- 6. Before the development hereby permitted is commenced details, including plans and cross sections, shall be submitted to and approved by the Local Planning Authority of the existing and proposed ground levels of the development and the boundaries of the site and the height of the ground floor slab and damp proof course in relation thereto. Development shall be undertaken in accordance with the approved details.**

**Reason: To ensure satisfactory relationship between the new development and the adjacent buildings, amenity areas and trees in accordance with Test Valley Borough Revised Local Plan (2016) Policy E1**
- 7. The first floor bathroom window on the south eastern elevation of plots 1 - 3 shall be fitted with obscured glazing and shall be top hung opening only, and thereafter retained as such, unless otherwise agreed in writing by the Local Planning Authority.**

**Reason: To protect the amenity and privacy of the adjoining occupiers in accordance with Test Valley Borough Revised Local Plan (2016) Policy LWH4.**

- 8 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no windows/dormer windows in the south eastern elevations of plot 1 - 3 of the proposal hereby permitted [other than those expressly authorised by this permission] shall be constructed.**

**Reason: In order that the Local Planning Authority can exercise control in the locality in the interest of the local amenities in accordance with Test Valley Borough Revised Local Plan (2016) Policy LHW4.**

- 9. Prior to first occupation, a scheme detailing the sound insulation measures to be installed, consistent with Table 4.1 of the Noise and Vibration Assessment from Clarke Saunders Acoustics (report ref: AS12321.220616.NIA), shall be submitted to the Local Planning Authority for approval. The scheme shall include mechanical ventilation to serve, as a minimum, those habitable rooms identified indicated in section 4.18 of the same report. Upon approval, the sound insulation measures shall be implemented in full and thereafter retained**

**Reason: To protect the amenities of the future occupants in accordance with Test Valley Borough Revised Local Plan (2016) Policy E8.**

- 10. In the event that contamination is found at any time during demolition and/or construction works, the presence of such contamination shall be reported in writing to the Local Planning Authority without delay and development shall be suspended on the affected part of the site until a remediation scheme for dealing with that contamination has been approved by the Local Planning Authority. The approved remediation scheme shall be implemented and, if requested, a verification report, for the purpose of certifying adherence to the approved remediation scheme, shall be submitted to the Local Planning Authority prior to the site being brought in to use.**

**Reason: To ensure a safe living/working environment in accordance with Test Valley Borough Local Plan 2016 policy E8.**

- 11. Development shall proceed in accordance with the measures set out in Preliminary Ecological Appraisal (Middlemarch Environmental, May 2021), Preliminary Bat Roost Assessment (Middlemarch Environmental, May 2021), Dusk Emergence and Dawn Re-entry Bat Surveys (Middlemarch Environmental, May 2021) and Planning Consultation 10th September 2021 for 109A Winchester Road, Romsey, SO51 8JF (Middlemarch Environmental, November 2021). Thereafter, mitigation and enhancement measures shall be permanently maintained and retained in accordance with the approved details, with photographic evidence provided to the Local Planning Authority within 6 months of occupation.**

**Reason: To ensure the favourable conservation status of protected species and enhance biodiversity in accordance with Policy E5 of the Test Valley Revised Local Plan DPD.**

- 12. No development shall take place, (including any works of demolition), until a Construction Method Statement has been submitted to, and approved in writing by, the LPA. The approved statement shall include scaled drawings illustrating the provision for –**

- 1) The parking of site operatives and visitors' vehicles.**
- 2) Loading and unloading of plant and materials.**
- 3) Management of construction traffic and access routes.**
- 4) Storage of plant and materials used in constructing the development.**
- 5) Full swept path vehicle tracking**
- 6) Wheel cleaning and chassis of HGVs and delivery vehicles leaving the site**
- 7) Means of keeping the site access road and adjacent public highway clear of mud and debris during site demolition, excavation, preparation and construction.**

**Development shall be carried out in accordance with the approved detail.**

**Reason: In the interests of highway safety in accordance with Test Valley Borough Revised Local Plan (2016) Policy T1**

- 13. The development shall be carried out in accordance with the Transport Statement from Milestone Transport Planning dated December 2021 and the addendum dated January 2022 and thereafter maintained as such.**

**Reason: In the interests of highway safety in accordance with Test Valley Borough Revised Local Plan (2016) Policy T1**

- 14. The development shall not be occupied until space has been laid out and provided for the parking and manoeuvring of vehicles to enable them to enter and leave the site in a forward gear in accordance with the approved plans 21064/TK02 E and P 01 W and this space shall thereafter be reserved for such purposes at all times.**

**Reason: In the interests of highway safety in accordance with Test Valley Borough Revised Local Plan (2016) Policy T1**

- 15. At least the first 4.5 metres of both access tracks measured from the nearside edge of carriageway of the adjacent highway shall be surfaced in a non-migratory material prior to the use of the access commencing and retained as such at all times.**

**Reason: In the interest of highway safety in accordance with Test Valley Borough Revised Local Plan (2016) Policy T1.**

- 16. The development hereby approved shall be designed and built to meet Regulation 36 2 (b) requirement of 110 litres/person/day water efficiency set out in part G2 of Building Regulations 2015.**

**Reason: In the interests of improving water usage efficiency in accordance with policy E7 of the Test Valley Borough Revised Local Plan 2016.**

17. **Prior to first occupation the visibility splays set out on drawing 21064/002 D at the access point shall be provided and maintained as such at all times. Within these visibility splays notwithstanding the provisions of the Town & Country Planning (General Permitted Development) Order 2015 (or any Order revoking and re-enacting that Order) no obstacles, including walls, fences and vegetation, shall exceed the height of 1metres above the level of the existing carriageway at any time.**

**Reason: In the interest of highway safety in accordance with Test Valley Borough Revised Local Plan (2016) Policy T1.**

18. **Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no windows/dormer windows in the north western elevation of plots 1 and 2 of the proposal hereby permitted [other than those expressly authorised by this permission] shall be constructed.**

**Reason: In order that the Local Planning Authority can exercise control in the locality in the interest of the local amenities in accordance with Test Valley Borough Revised Local Plan (2016) Policy LHW4.**

19. **Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order amending, revoking or re-enacting that Order), the car port(s) and parking spaces hereby approved shall at all times be available for the parking of vehicles.**

**Reason: In order to maintain the approved on site parking provision and to reduce highway congestion in accordance with Test Valley Borough Revised Local Plan (2016) Policy T1.**

20. **No development shall take place until a scheme for surface water discharge has been submitted to, and approved in writing by, the LPA. The approved statement shall include scaled drawings illustrating the provision for –**

- 1) Soakaways**
- 2) Attenuation Storage**
- 3) Location of discharge to public sewer**

**Development shall be carried out in accordance with the approved detail.**

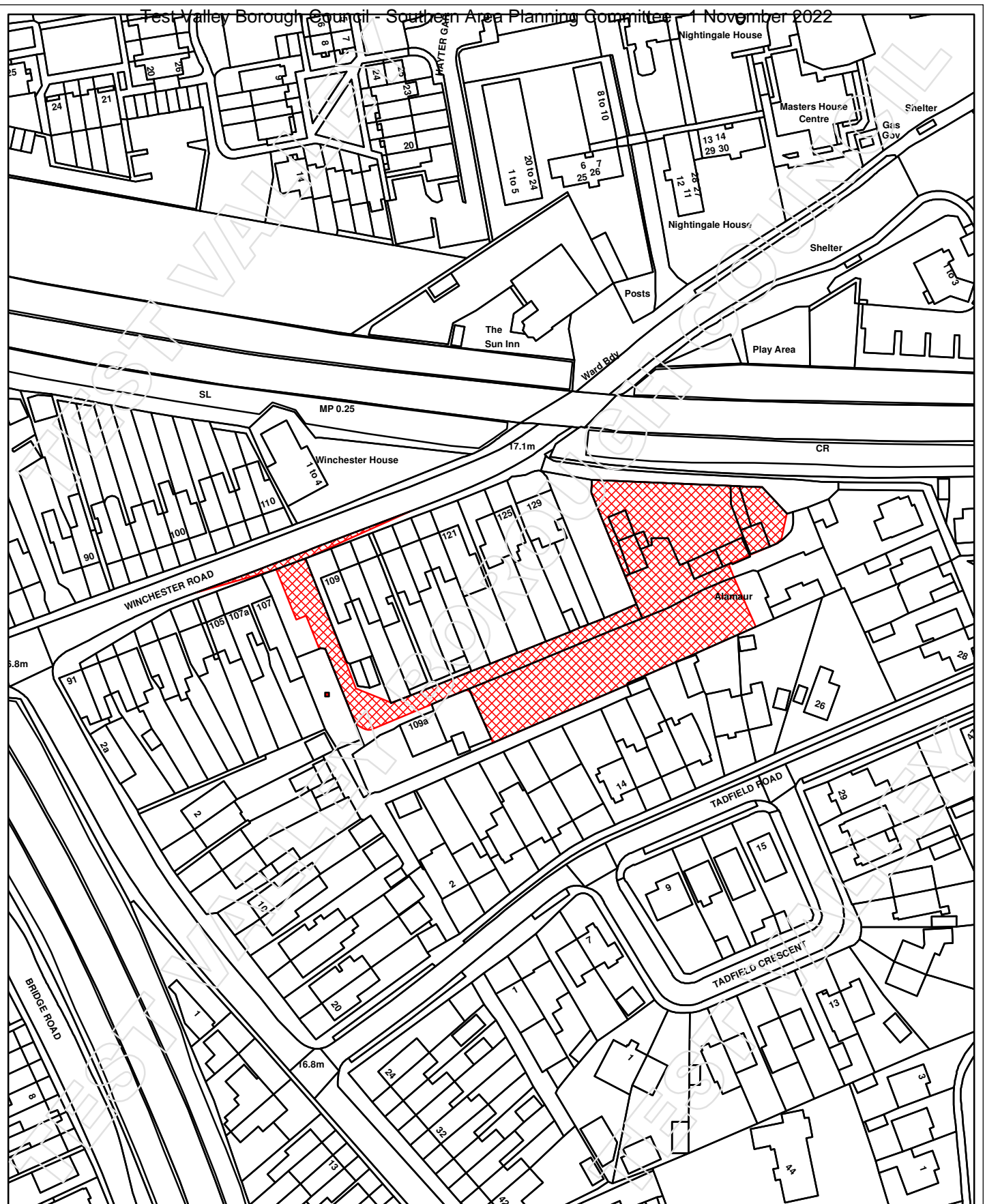
**Reason: In the interests of highway safety in accordance with Test Valley Borough Revised Local Plan (2016) Policy T1.**

**Notes to applicant:**

- 1. The development hereby permitted shall be carried out and completed strictly in accordance with the submitted plans, specifications and written particulars for which permission is hereby granted or which are subsequently submitted to, and approved in writing by, the Local Planning Authority and in compliance with any conditions imposed by the Local Planning Authority.**

2. **Attention is drawn to the legal agreement dated xx**
  3. **Bats and their roosts receive strict legal protection under the Wildlife and Countryside Act 1981 (as amended) and the Conservation of Habitats and Species Regulations 2017. All work must stop immediately if bats, or evidence of bat presence (e.g. droppings, bat carcasses or insect remains), are encountered at any point during this development. Should this occur, further advice should be sought from Natural England and/or a professional ecologist.**
  4. **Due to the close proximity of the proposed works to Network Rail's land and the operational railway, Network Rail recommends that the applicant / developer engages with Network Rail's Asset Protection and Optimisation (ASPRO) team via [AssetProtectionWessex@networkrail.co.uk](mailto:AssetProtectionWessex@networkrail.co.uk) prior to works commencing. This will allow our ASPRO team to review the details of the proposal to ensure that the works can be completed without any risk to the operational railway. The applicant / developer may be required to enter into an Asset Protection Agreement to get the required resource and expertise onboard to enable approval of detailed works. More information can also be obtained from our website <https://www.networkrail.co.uk/running-the-railway/looking-after-the-railway/asset-protection-and-optimisation/>. Where applicable, the applicant / developer must also follow the attached Asset Protection in formatives which are issued to all proposals within close proximity to the railway (compliance with the in formatives does not remove the need to engage with our ASPRO team).**
-





**Siteplan**



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**22/02176/FULLS**



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# LAND OFF WINCHESTER ROAD: ROMSEY

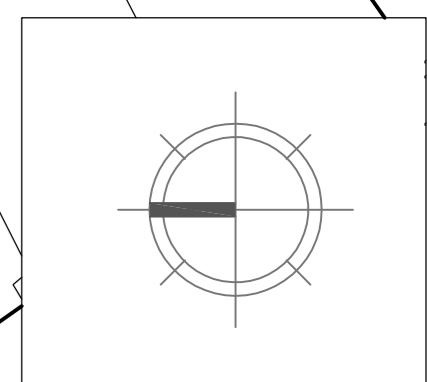
	lawn
	shrubs
	sedum roofs
	tarmac
	tarmac with grit applied finish
	pea shingle
	permeable concrete pavers
	permeable concrete pavers
	natural slate paving
	existing retained hedge
	native hedging
	new semi-mature hedge
	225mm x 2m high brick wall
	ex brick wall
	new native trees
	bike store
	waste bins
	3 x bat boxes (2 for Pipistrelle Bat for Pipistrelle Bat for Schwieger 1B)
	2x bird nest boxes for garden birds
	3 x Sparrow nest boxes
	2 x log piles

no.	description	date
1	approved plan	17.10.21
2	approved plan	19.11.21
3	approved plan	19.11.21
4	approved plan	19.11.21
5	approved plan	19.11.21
6	approved plan	19.11.21
7	approved plan	19.11.21
8	approved plan	19.11.21
9	approved plan	19.11.21
10	approved plan	19.11.21
11	approved plan	19.11.21
12	approved plan	19.11.21
13	approved plan	19.11.21
14	approved plan	19.11.21
15	approved plan	19.11.21
16	approved plan	19.11.21
17	approved plan	19.11.21
18	approved plan	19.11.21
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20	approved plan	19.11.21
21	approved plan	19.11.21
22	approved plan	19.11.21
23	approved plan	19.11.21
24	approved plan	19.11.21
25	approved plan	19.11.21
26	approved plan	19.11.21
27	approved plan	19.11.21
28	approved plan	19.11.21
29	approved plan	19.11.21
30	approved plan	19.11.21

scale bar (metres) - sheet size A1  
0 1 2 3 4 5 6 7 8

**SHERLOCK ARCHITECTURE**  
 109A WINCHESTER ROAD  
 ROMSEY  
 TEL: 01754 369400  
 www.sherlockarchitecture.com

Project: 109A WINCHESTER ROAD ROMSEY  
 Client: WILSON DESIGNER HOMES  
 Drawing: PROPOSED SITE LAYOUT  
 Date: FEB 21  
 Scale: 1:200  
 Job No: A1  
 1588  
 Stage: P 01  
 Drawing No: W





# LAND OFF WINCHESTER ROAD : ROMSEY

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**LOW SHRUBS & GROUNDCOVER** - selected from  
 CAREXOPTERIS claudensis 'Heavenly Blue'  
 COTONEASTER dammeri  
 ELONIMUS fortiae 'Emerald City'  
 HEBE brachyophora  
 HYPERICUM 'Hidcote'  
 LONICERA pileata 'Loughall Evergreen'  
 ROSMARINUS repens  
 SKIMMIA consida 'Kew Green'  
 SPIREA bumalda 'Anthony Waterer'  
 VIBURNUM davidii

Plants to come in 2L pots and planted at approximately 300-400mm spacings.

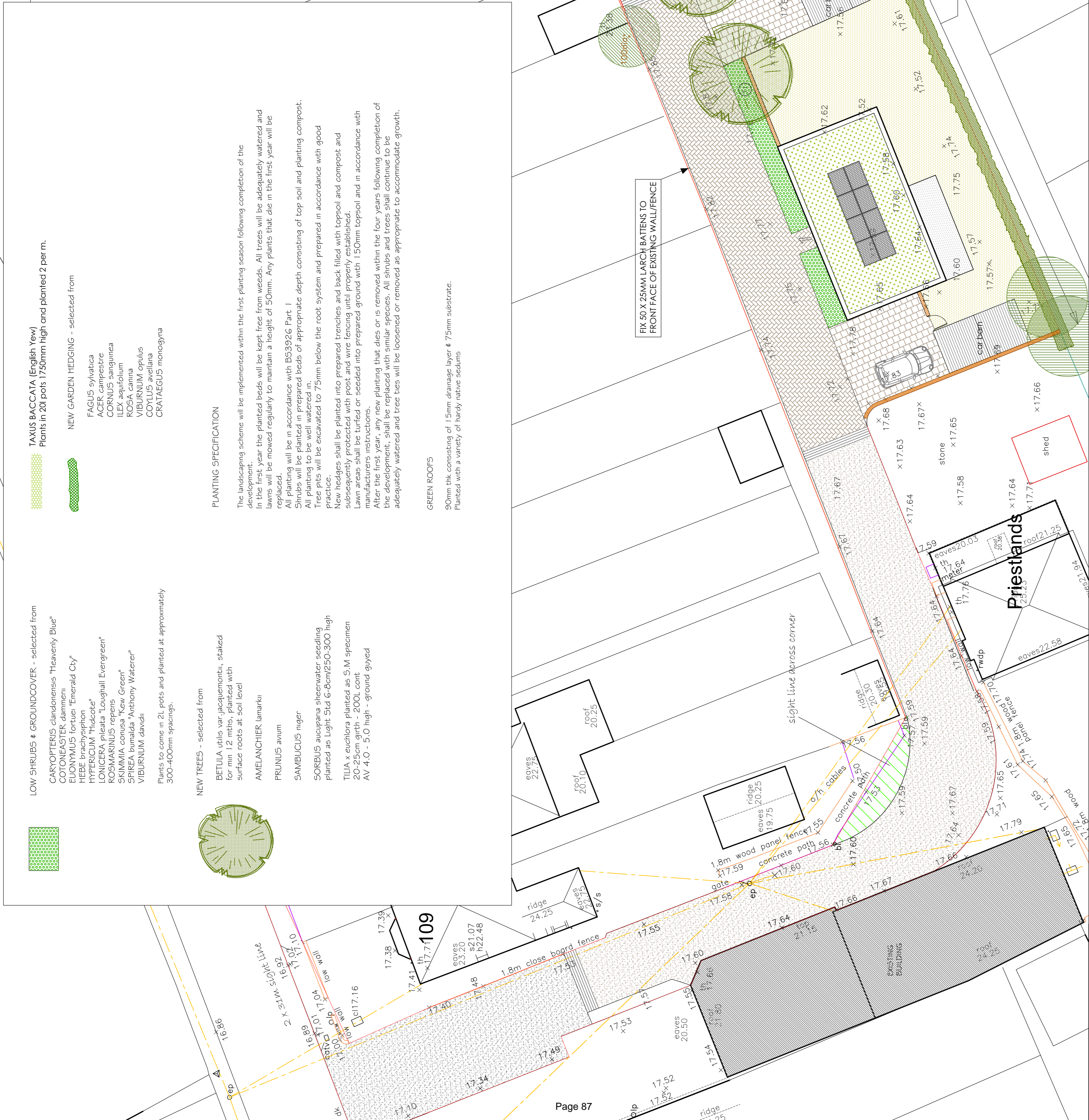
**NEW TREES** - selected from  
 BETULA utilis var. jacquemontii, staked for min 12 mths, planted with surface roots at soil level  
 AMELANCHIER lamarkii  
 PRUNUS avium  
 SAMBUCUS nigra  
 SORBUS aucuparia site-water seedling planted as Light 50d 6-0cm/250-300 high  
 TILIA x eucliora planted as 5.1M specimen 20-25cm girth - 200L cont  
 AV 4.0 - 5.0 high - ground grafted

**TAXUS BACCATA (English Yew)**  
 Plants in 20 pots 170mm high and planted 2 per m.

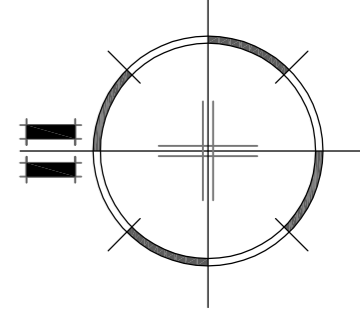
**NEW GARDEN HEDGING** - selected from  
 FAGUS sylvatica  
 ACER campestre  
 CORNUS sanguinea  
 ILEX aquifolium  
 ROSA canina  
 VIBURNUM opulus  
 COTYLUS axillaria  
 CRATAEGUS monogyna

**PLANTING SPECIFICATION**  
 The landscaping scheme will be implemented within the first planting season following completion of the development.  
 In the first year the planted beds will be kept free from weeds. All trees will be adequately watered and lawns will be mowed regularly to maintain a height of 50mm. Any plants that die in the first year will be replaced.  
 All planting will be in accordance with BS3392:6 Part 1  
 Shrubs will be planted in prepared beds of appropriate depth consisting of top soil and planting compost. All planting to be well watered in.  
 Tree pits will be excavated to 75mm below the root system and prepared in accordance with good practice.  
 New hedges shall be planted into prepared trenches and back filled with topsoil and compost and watered in. The plants shall be watered in and weeding and protection established.  
 Lawn areas shall be turfed or seeded into prepared ground with 150mm topsoil and in accordance with manufacturers instructions.  
 After the first year, any new planting that dies or is removed within the four years following completion of the development, shall be replaced with similar species. All shrubs and trees shall continue to be adequately watered and tree ties will be loosened or removed as appropriate to accommodate growth.

**GREEN ROOFS**  
 90mm thick consisting of 15mm drainage layer & 75mm substrate.  
 Planted with a variety of hardy native sedums



- ECOLOGICAL ENHANCEMENTS**
- 3 x bat boxes (2F-Schwieger) for Pipistrelle Bats
  - 2x bird nest boxes (Schwegler B) for garden birds
  - 3 x Sparrow nest boxes
  - 2 x log piles
- EXISTING ENHANCEMENTS**
- 225mm x 2m high brick wall - FIB
  - ex brick wall
  - new native trees
  - existing trees to be retained
- EXISTING RETAINED HEDGE**
- existing retained hedge
  - new native hedging (blackthorn, hawthorn, holly, field maple, hazel)
  - new semi-mature hedge (yew)
  - 1.6 x 1m Photovoltaic roof panels
- EXISTING BUILDING MATERIALS**
- pea shingle
  - Marshall Divesett Argent - colour dark
  - Marshall Divesett Argent - colour light
  - Marshall's Grey Sandstone paving slabs
  - Marshall's Tegula Setts - colour Fernant
- EXISTING SURFACES**
- lawn
  - Sedum green roof
  - proposed shrub planting
  - tarmac
  - tarmac with grit applied finish



**SHERLOCK landscapes**  
 109a WINCHESTER ROAD  
 ROMSEY

Client: WILSON DESIGNER HOMES  
 Drawing: PROPOSED LANDSCAPE SCHEME

Date: AUG 22 11:50  
 Scale: A1  
 Job No: 1588

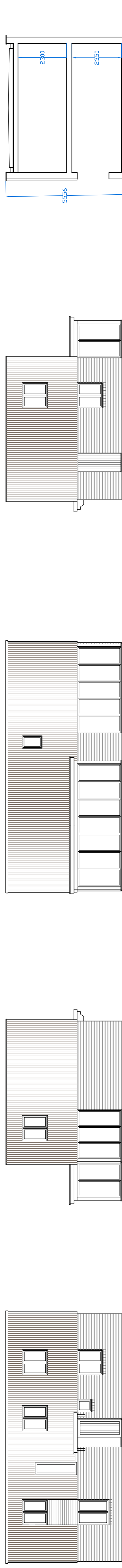
Project: 109a WINCHESTER ROAD ROMSEY

www.sherlocklandscapes.com  
 Tel: 01783 824969



# PLOTS 1 & 5

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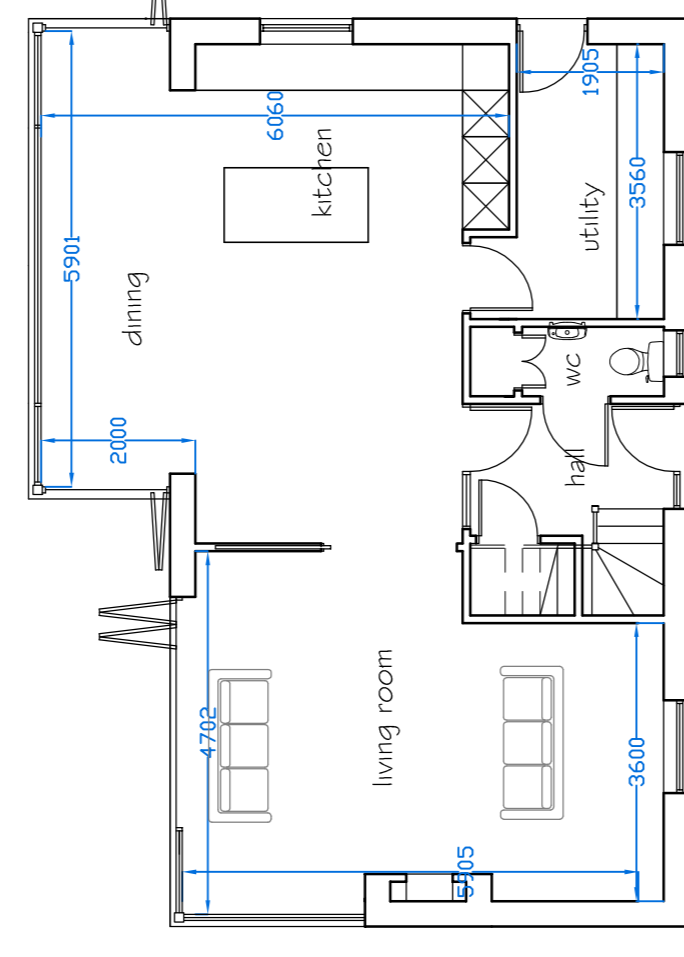
NORTH WEST ELEVATION

SOUTH WEST ELEVATION

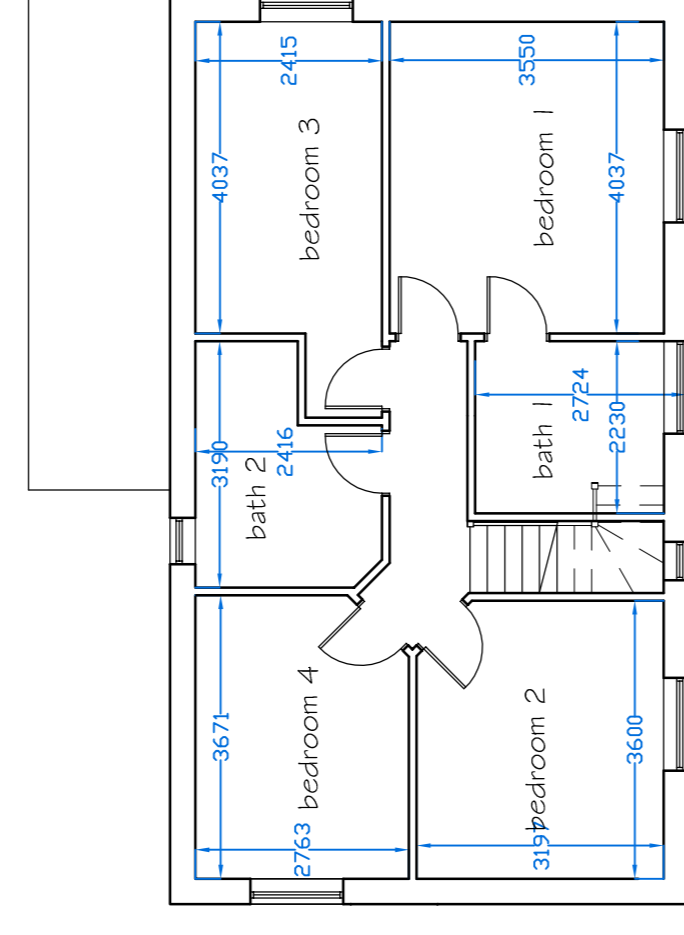
SOUTH EAST ELEVATION

NORTH EAST ELEVATION

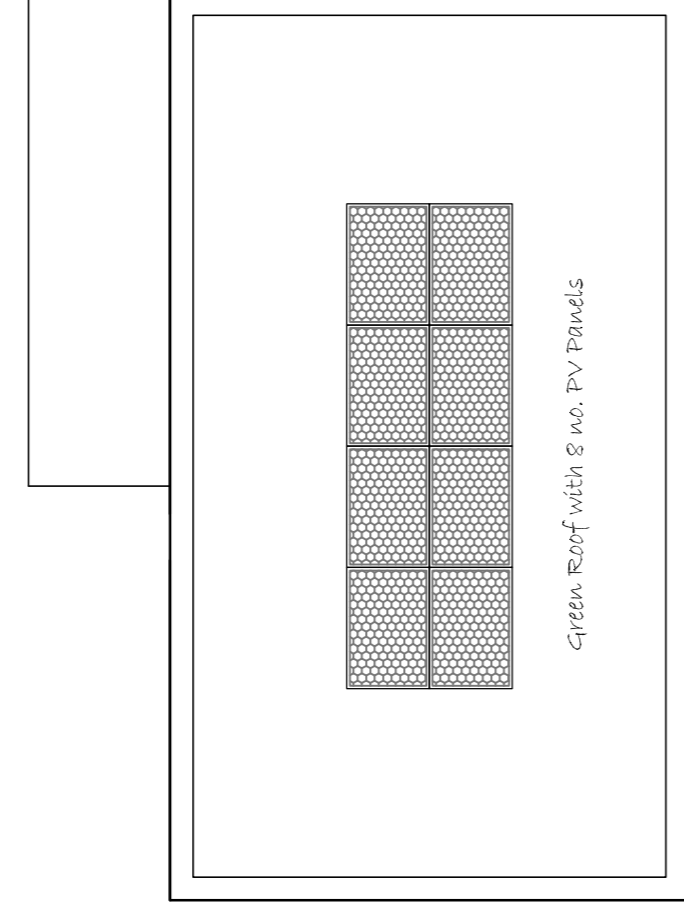
SECTION



GROUND FLOOR PLAN



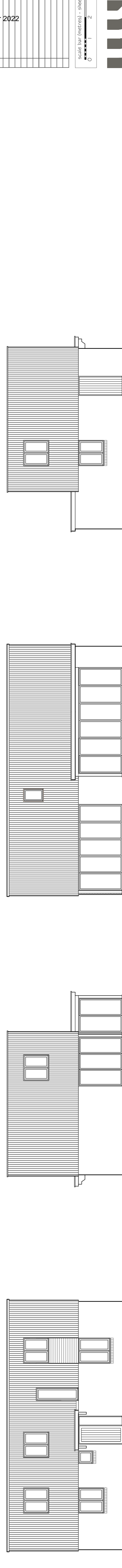
FIRST FLOOR PLAN



ROOF PLAN

**Materials**  
 Roof: green roof with PV panels  
 Walls: grey stone brick + mid grey Siberian larch vertical boarding  
 Windows: powder coated aluminium

# PLOT 2

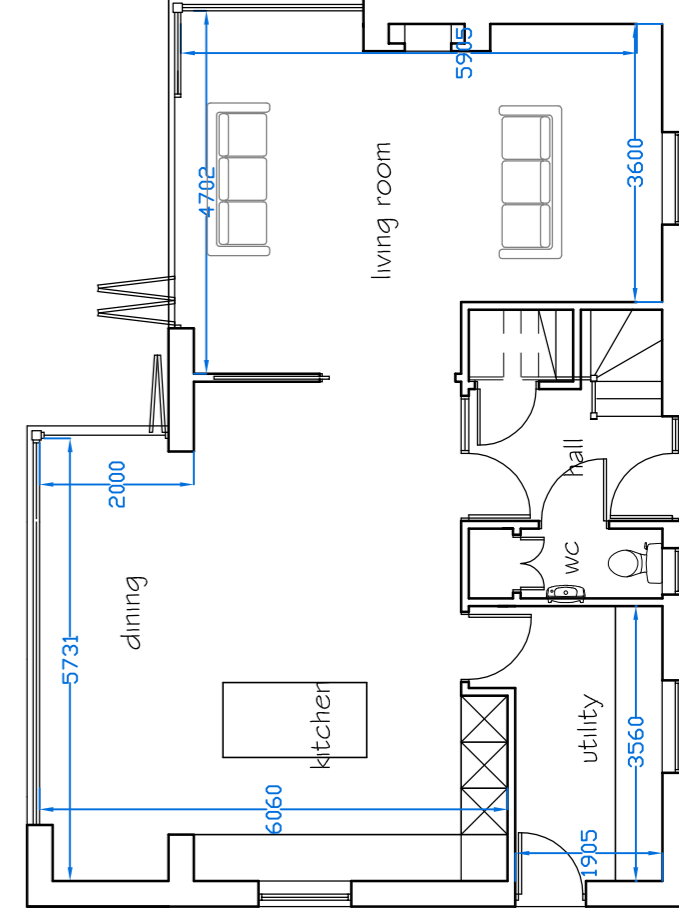


NORTH WEST ELEVATION

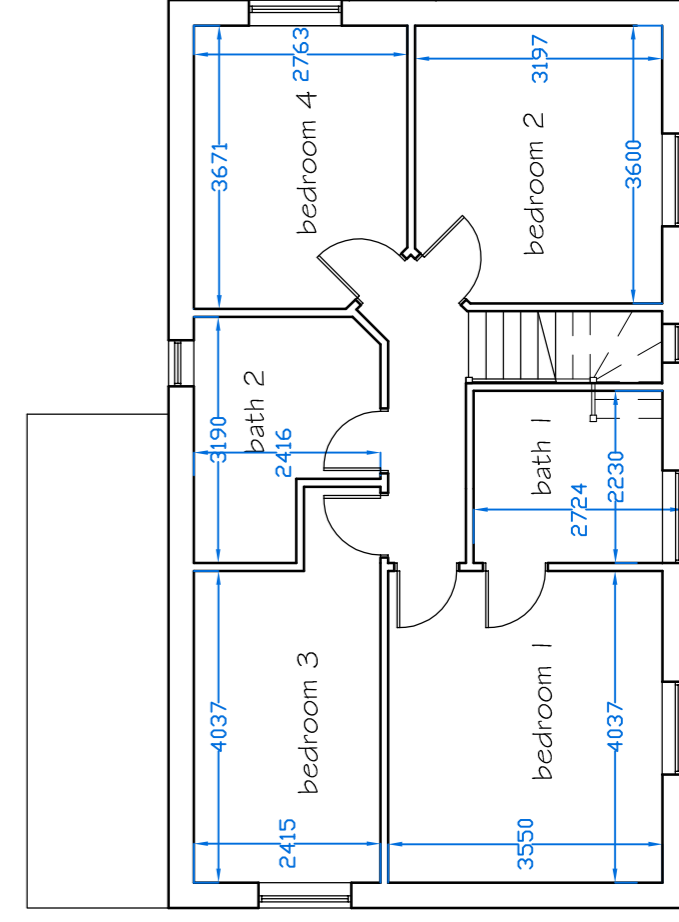
SOUTH WEST ELEVATION

SOUTH EAST ELEVATION

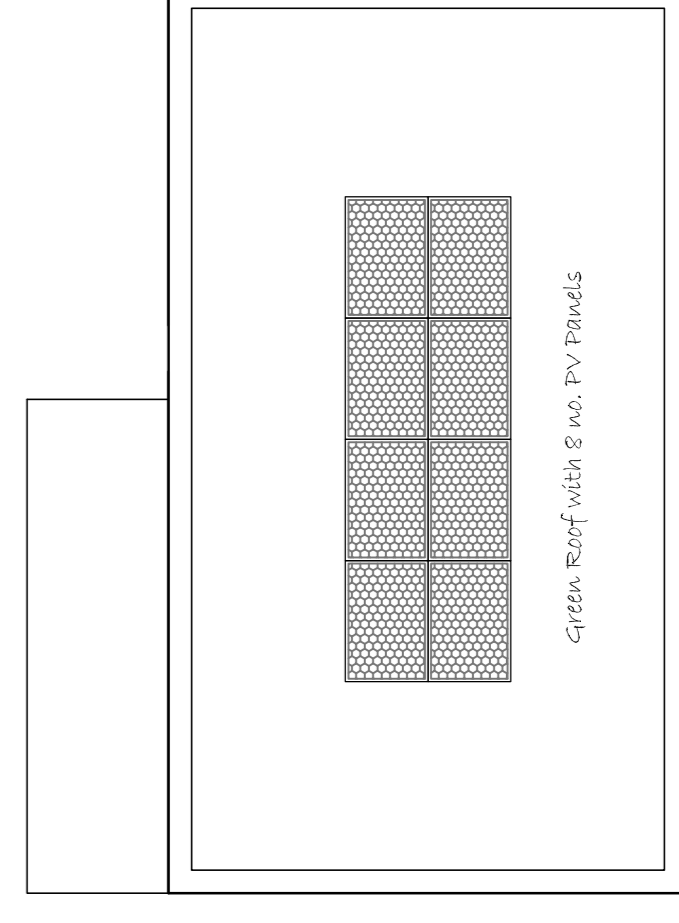
NORTH EAST ELEVATION



GROUND FLOOR PLAN



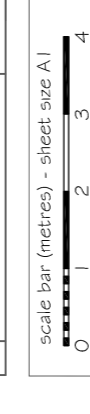
FIRST FLOOR PLAN



ROOF PLAN

**Materials**  
 Roof: green roof with PV panels  
 Walls: white render + zinc grey Siberian larch vertical boarding  
 Windows: powder coated aluminium

revisions		
A	revised design	25.9.21
B	final design	15.10.21
C	final design	15.10.21
D	design changes	2.11.21
E	design changes	1.12.21
F	revised design	1.12.21
G	revised house	15.8.22



**SHERLOCK ARCHITECTURE**  
 109a WINCHESTER ROAD  
 ROMSEY

Client: WILSON DESIGNER HOMES  
 drawing: PLOTS 1-3 PROPOSED FLOOR PLANS & ELEVATIONS

Date: JULY 21 | 1:00 | A1 | job no.

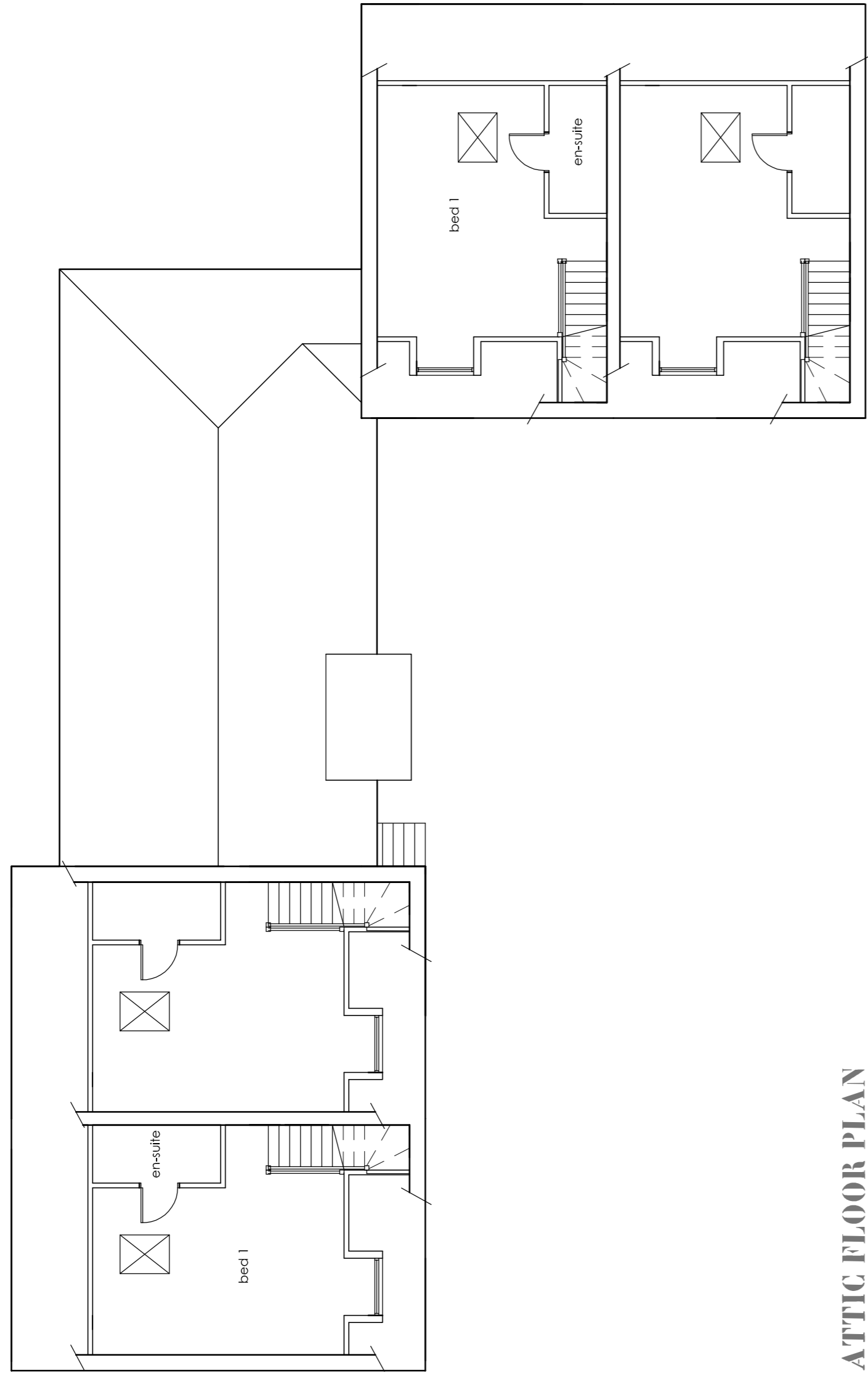
Stage: drawing no. **P 05** rev. **G**



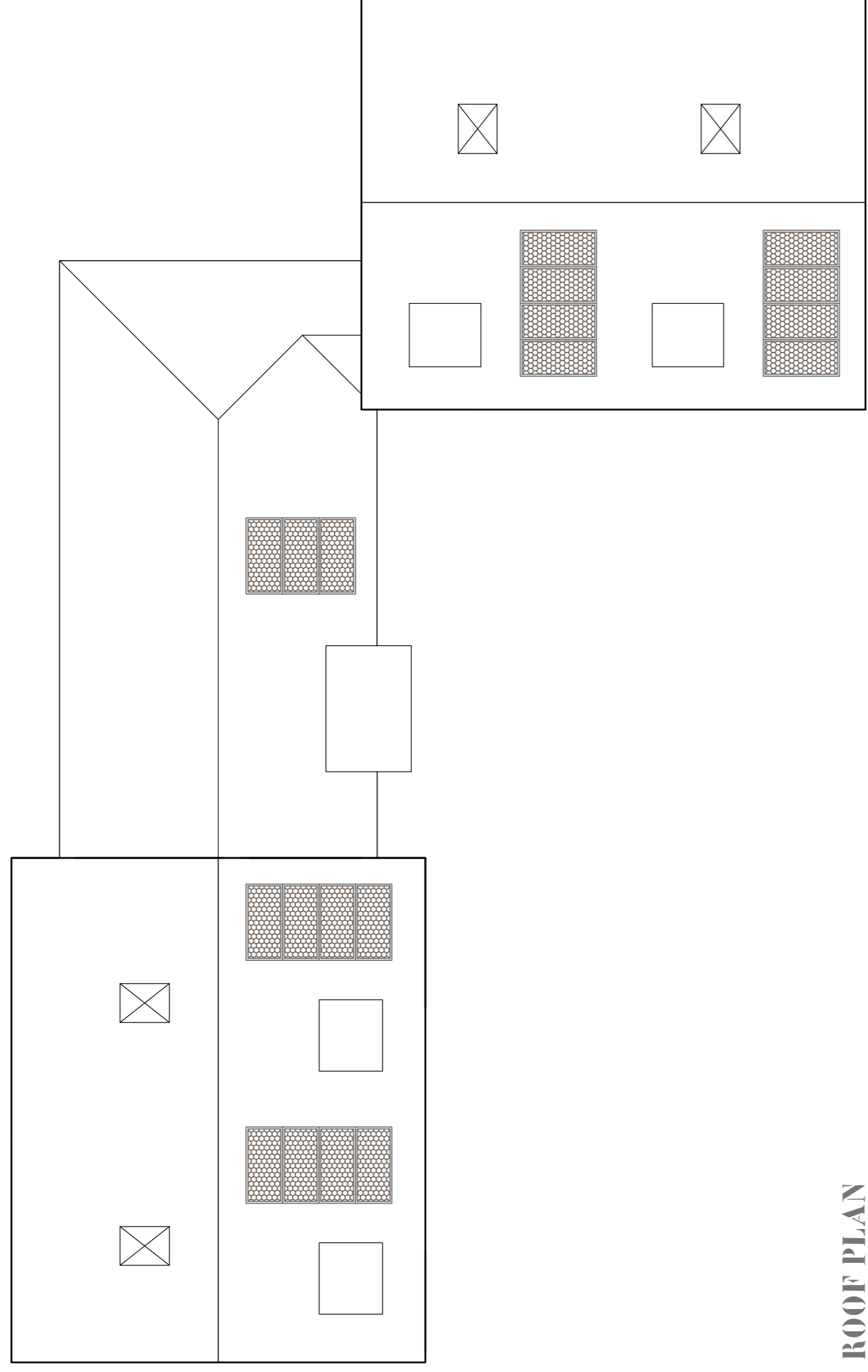


# WINCHESTER ROAD : ROMSEY

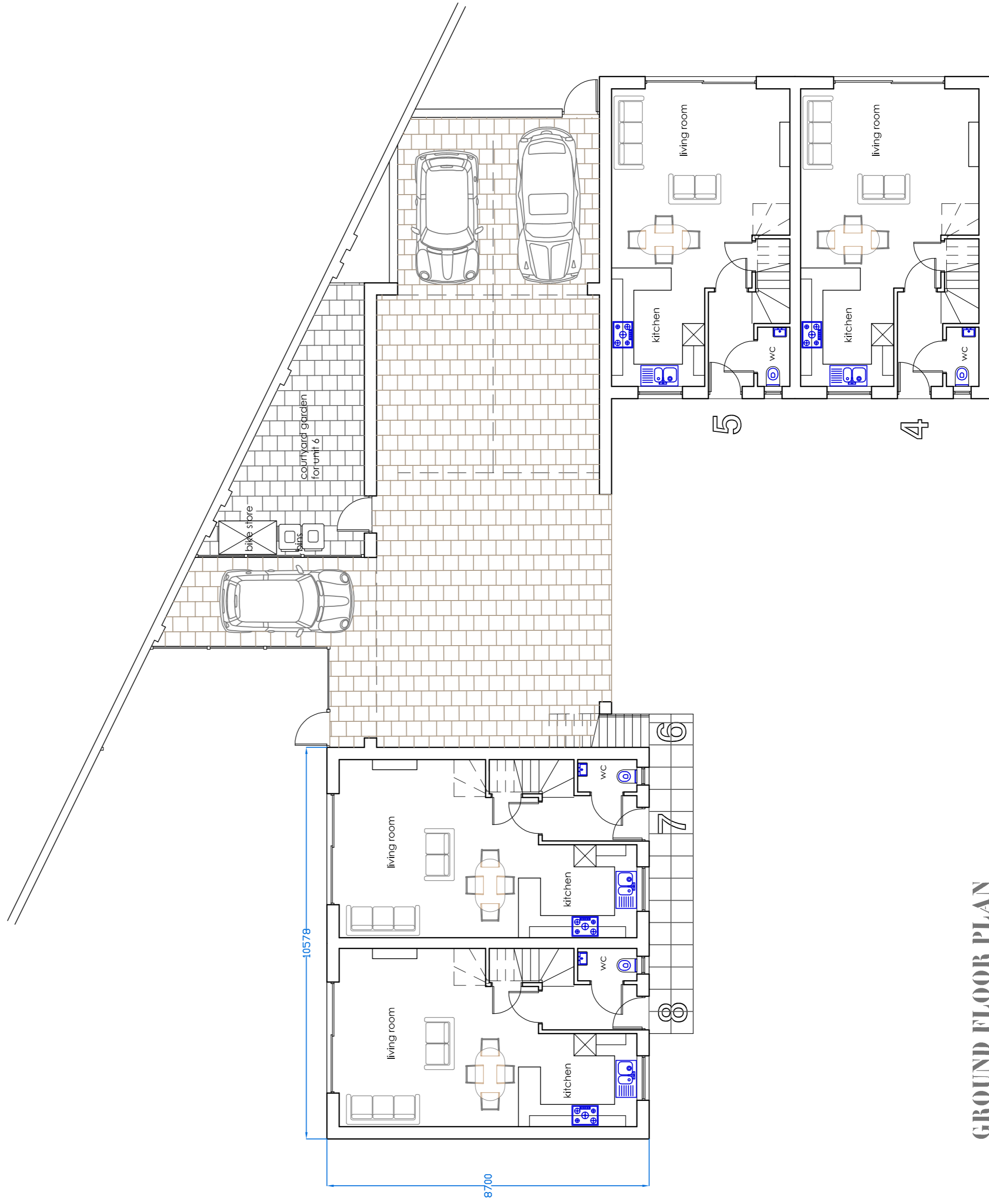
# PLOTS 4-8



ATTIC FLOOR PLAN



ROOF PLAN



GROUND FLOOR PLAN

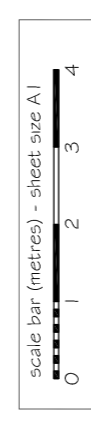


FIRST FLOOR PLAN

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Test Valley Borough Council - Southern Area Planning Committee - 1 November 2022

revisions		
A	revised design	25.9.21
B	minor revision	2.11.21
C	minor revision	10.1.22
D	amended lot	10.1.22



Project: 109a WINCHESTER ROAD ROMSEY

Client: WILSON DESIGNER HOMES

Drawing: PLOTS 4-8 PROPOSED FLOOR PLANS

Date:	Scale:	Sheet:	Job No.
JULY 21	1:100	A1	

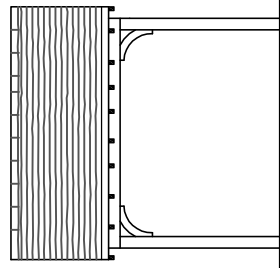
Stage: drawing no. rev

**P 08 D**

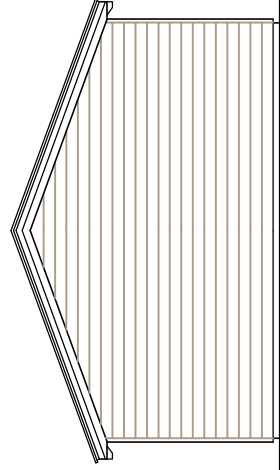
# 109A WINCHESTER ROAD : ROMSEY

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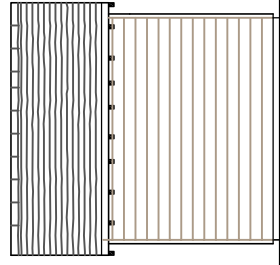
Materials  
 Roof : natural slates  
 Walls : larch boarding



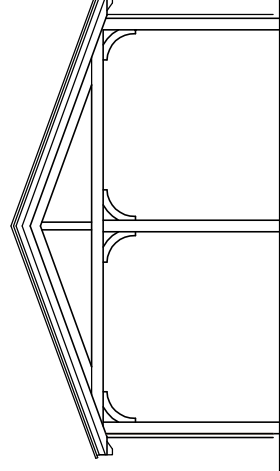
FRONT ELEVATION



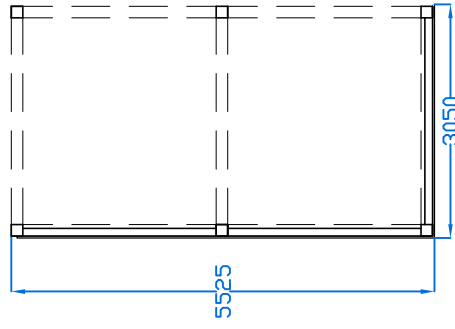
SIDE ELEVATION



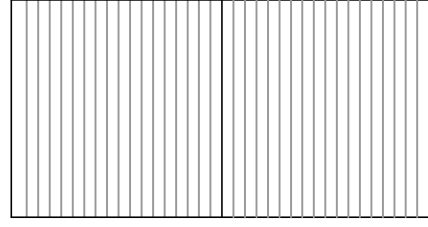
REAR ELEVATION



SIDE ELEVATION



PLAN



ROOF PLAN

Test Valley Borough Council - Southern Area Planning Committee - 1 November 2022

revision	description	date
1	ISSUED FOR PERMIT	31.10.22



**SHERLOCK ARCHITECTURE**  
 THE STUDIO AT COCKING SOUTH-WIMBORNE O10 1AG  
 www.sherlockarchitecture.com  
 TEL 01794 386400

PROJECT  
 109A WINCHESTER RD  
 ROMSEY

CLIENT  
 WILSON DESIGNER HOMES

DRAWING  
 CARFORTS  
 PROPOSED FLOOR PLANS  
 & ELEVATIONS

DATE  
 DEC 21

SCALE  
 1:100

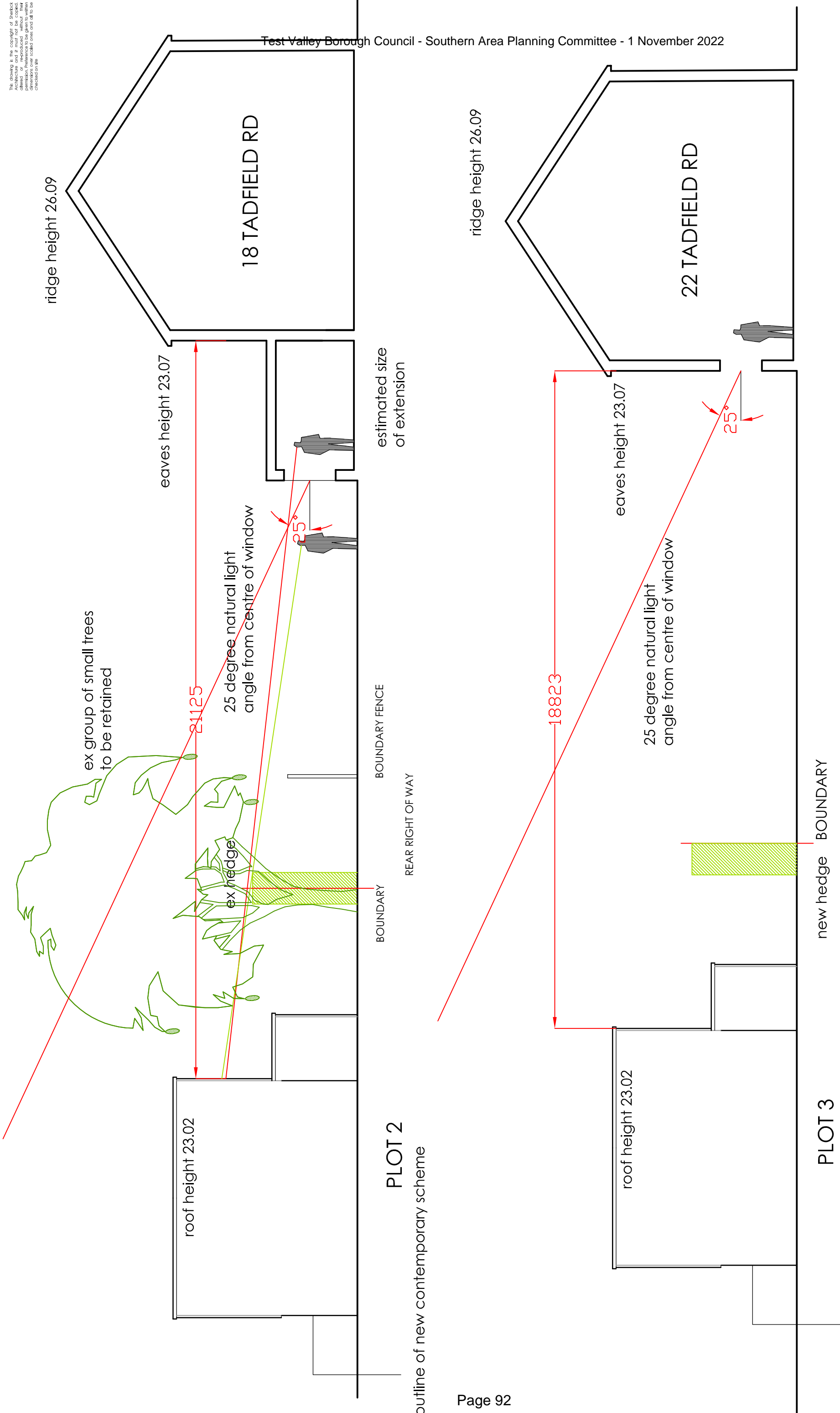
SHEET  
 A3

JOB NO.

DRAWING NO.  
**P 11**

REV.  
**B**

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**PLOT 2**

outline of new contemporary scheme

**PLOT 3**

outline of new contemporary scheme

scale	1:100	sheet	A3	scale bar	
date	JULY 22	stage	PLANNING	client	WILSON DESIGNER HOMES
job no.					



**SHERLOCKARCHITECTURE**

Project	109A WINCHESTER RD ROMSEY
Drawings	SKETCH SITE SECTIONS



## ITEM 9

---

<b>APPLICATION NO.</b>	22/02223/FULLS
<b>APPLICATION TYPE</b>	FULL APPLICATION - SOUTH
<b>REGISTERED</b>	30.08.2022
<b>APPLICANT</b>	Mr Dan Sheppard
<b>SITE</b>	Campsie Glen, Sandy Lane, Abbotswood, SO51 0PD, <b>ROMSEY EXTRA</b>
<b>PROPOSAL</b>	Single story rear and two storey side extension with window, door and external wall material alterations.
<b>AMENDMENTS</b>	
<b>CASE OFFICER</b>	Katie Savage

Background paper (Local Government Act 1972 Section 100D)

[Click here to view application](#)

---

### 1.0 INTRODUCTION

- 1.1 The application is presented to Southern Area Planning Committee at the request of a local member because the application raises issues of more than local public interest.

### 2.0 HISTORY

- 2.1 None relevant.

### 3.0 CONSULTATIONS

- 3.1 None

### 4.0 REPRESENTATIONS Expired 20.05.2022

- 4.1 Romsey Extra Parish Council Objection - (summarised)
- Impact on neighbouring amenity to Tanglewood
  - Impact on character and appearance of the local area

### 5.0 POLICY

#### 5.1 Government Guidance

National Planning Policy Framework (NPPF)

National Planning Practice Guidance (NPPG)

#### 5.2 Test Valley Borough Revised Local Plan (2016)(TVBRLP)

Policy COM2 – Settlement Hierarchy

Policy E1- High Quality Development in the Borough

Policy E5 - Biodiversity

Policy LHW4 – Amenity

Policy T2 – Parking Standards

## 6.0 **PLANNING CONSIDERATIONS**

6.1 The main planning considerations are:

- Principle of development
- Impact on the character and appearance of the area
- Impact on amenity of neighbouring property
- Impact on ecology
- Impact on parking provision
- Other Matters

### 6.2 **Principle of development**

The sites lies within the settlement boundary as defined on the Inset Maps of the TVBRLP. In accordance with Policy COM2 of the TVBRLP development is permitted provided the proposal is appropriate to other policies of the Revised Local Plan. The proposal is assessed against relevant policies below.

### 6.3 **Impact on the character and appearance of the area**

The application site is a large detached two storey dwelling set back from Sandy Lane. The road is characterised by large properties with no consistent or prevalent design, though the adjacent property is very similar in appearance. The proposed two storey side extension would be to the east of the existing dwelling and would be visible from the public domain due to its location to the side and front of the existing property. The proposed two storey side extension will increase the size, mass and bulk of the property and would make the property noticeability more prominent within the street scene. However, the site is located on a very generous plot and will retain both a large front and rear garden, though the separation distance between the properties will be reduced. The proposed side extension and projecting gable would result in the dwelling being noticeably larger than the existing and adjacent property, however that does not make the proposal unacceptable. The existing property is of no particular architectural merit and though it is similar in design to the neighbouring property there is so much variation in the street scene that there is no need retain their original form and character in this respect.

6.4 The single storey rear extension would not offer any public view and if any views were possible it would be seen in the context of the existing dwelling.

Irrespective of this, the rear extension is well designed, seeks to use matching brick and slate roof tiles and would thus not harmfully impact on the character and appearance of the area.

6.5 The proposal will also see the existing red hanging tiles replaced with white render and replacing the brown windows with grey, which would not look out of place or incongruous within the immediate street scene. The proposal will also see changes to the fenestration at ground floor on the rear elevation, with the replacement of 2 existing windows with two floor to ceiling windows and the removal of external doors and windows and their replacement with new bi-folding doors. Taking into consideration the above the proposal is considered to be high quality and would not adversely affect the character and appearance of the area. The Parish Council's objection is noted as is the fact that the 2 storey side extension would move the property closer to neighbouring Tanglewood.

However, Sandy Lane is characterised by dwellings close to existing side boundaries and would therefore not look out of place within the street scene. Therefore, the proposal is in accordance with Policy E1 of TVBRLP.

#### **6.6 Impact on amenity of neighbouring property**

The proposed single storey extension, with sloped roof, is modest in size and would be attached to an existing single storey projection. It does not offer any additional overlooking opportunities above what currently exists. The Parish Council has raised concerns over the neighbouring amenity to Tanglewood. It is acknowledged the two storey side extension would bring the application site closer to Tanglewood. However, there are no side windows proposed to the east elevation which would face Tanglewood. The extension would extend further forward onto an existing hardstanding. However, it is not considered this would result in an overbearing impact due to the separation distance and the fact that the nearest accommodation to this proposed extension is not a habitable room. By virtue of the size (bulk and mass) and design of the proposal, its juxtaposition relative to neighbouring property, the proposal would not give rise to an adverse impact on the living conditions of neighbouring properties by virtue of loss of daylight, sun light, or privacy. The proposal is in accordance with Policy LHW4 of the TVBRLP.

#### **6.7 Impact on ecology**

The application site sits within the Mottisfont Bat Foraging Buffer as well as hosting hanging tiles. With a history of bats in the area a Preliminary Bat Survey was undertaken and concluded there was on site potential for roosting bats which promoted a Phase 1 Bat Survey which supports the application. The Phase 1 survey concluded there was no roosting bats within the dwelling but noted commuting bats within the local area. A condition has been recommended below which would ensure the development proceeds in accordance with the recommendations and retains the enhancement features set out in the Ecology Survey. A bat informative has also been applied to the application. Subject to this the proposal is in accordance with Policy E5 of the TVBRLP.

#### **6.8 Impact on parking provision**

The proposal does not give rise to an additional demand for car parking or result in the loss of existing car parking spaces to serve the dwelling, in accordance with the parking standards as set out in Annex G and Policy T2 of the TVBRLP.

#### **7.0 CONCLUSION**

7.1 The proposal is considered acceptable and in accordance with the policies of the TVBRLP.

#### **8.0 RECOMMENDATION**

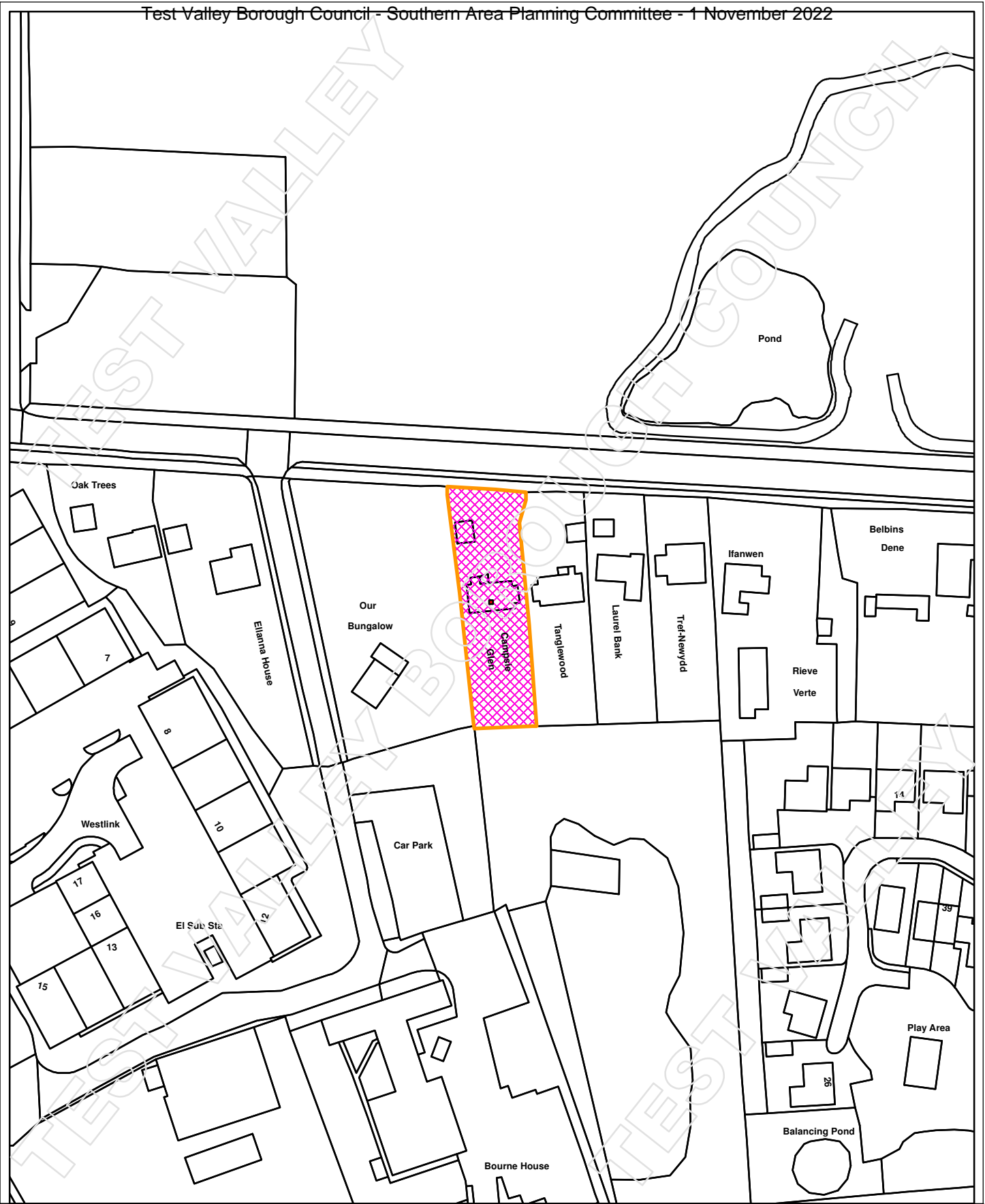
##### **PERMISSION subject to:**

- 1. The development hereby permitted shall be begun within three years from the date of this permission.  
Reason: To comply with the provision of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.**

- 2. The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 02**  
**Reason: For the avoidance of doubt and in the interests of proper planning.**
- 3. The external materials to be used in the construction of external surfaces of the development hereby permitted shall be in complete accordance with the details specified on the submitted application form and approved plans.**  
**Reason: To ensure a satisfactory visual relationship of the new development with the existing in accordance with Test Valley Borough Revised Local Plan (2016) Policy E1**
- 4. Development shall proceed in accordance with the measures set out in the submitted Bat Report (Roavr, August 2022). Thereafter, the enhancement features shall be permanently maintained and retained in accordance with the approved details.**  
**Reason: To enhance biodiversity in accordance with Policy E5 of the Test Valley Revised Local Plan DPD.**

**Notes to Applicant:**

- 1. In reaching this decision Test Valley Borough Council (TVBC) has had regard to the National Planning Policy Framework and takes a positive and proactive approach to development proposals focused on solutions. TVBC work with applicants and their agents in a positive and proactive manner offering a pre-application advice service and updating applicants/agents of issues that may arise in dealing with the application and where possible suggesting solutions.**
  - 2. Bats and their roosts receive strict legal protection under the Wildlife and Countryside Act 1981 (as amended) and the Conservation of Habitats and Species Regulations 2017. All work must stop immediately if bats, or evidence of bat presence (e.g. droppings, bat carcasses or insect remains), are encountered at any point during this development. Should this occur, further advice should be sought from Natural England and/or a professional ecologist.**
-

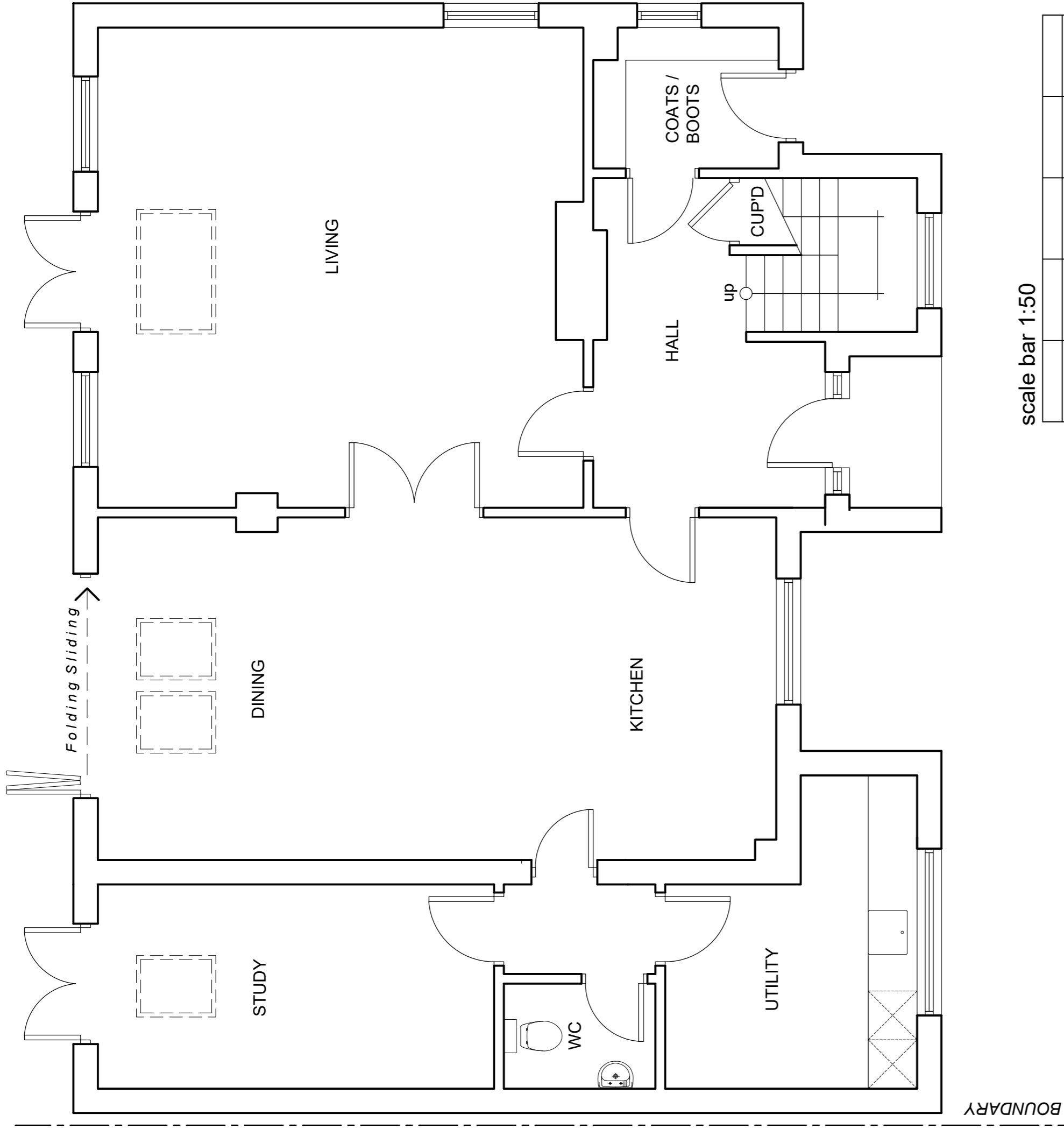


**Siteplan**

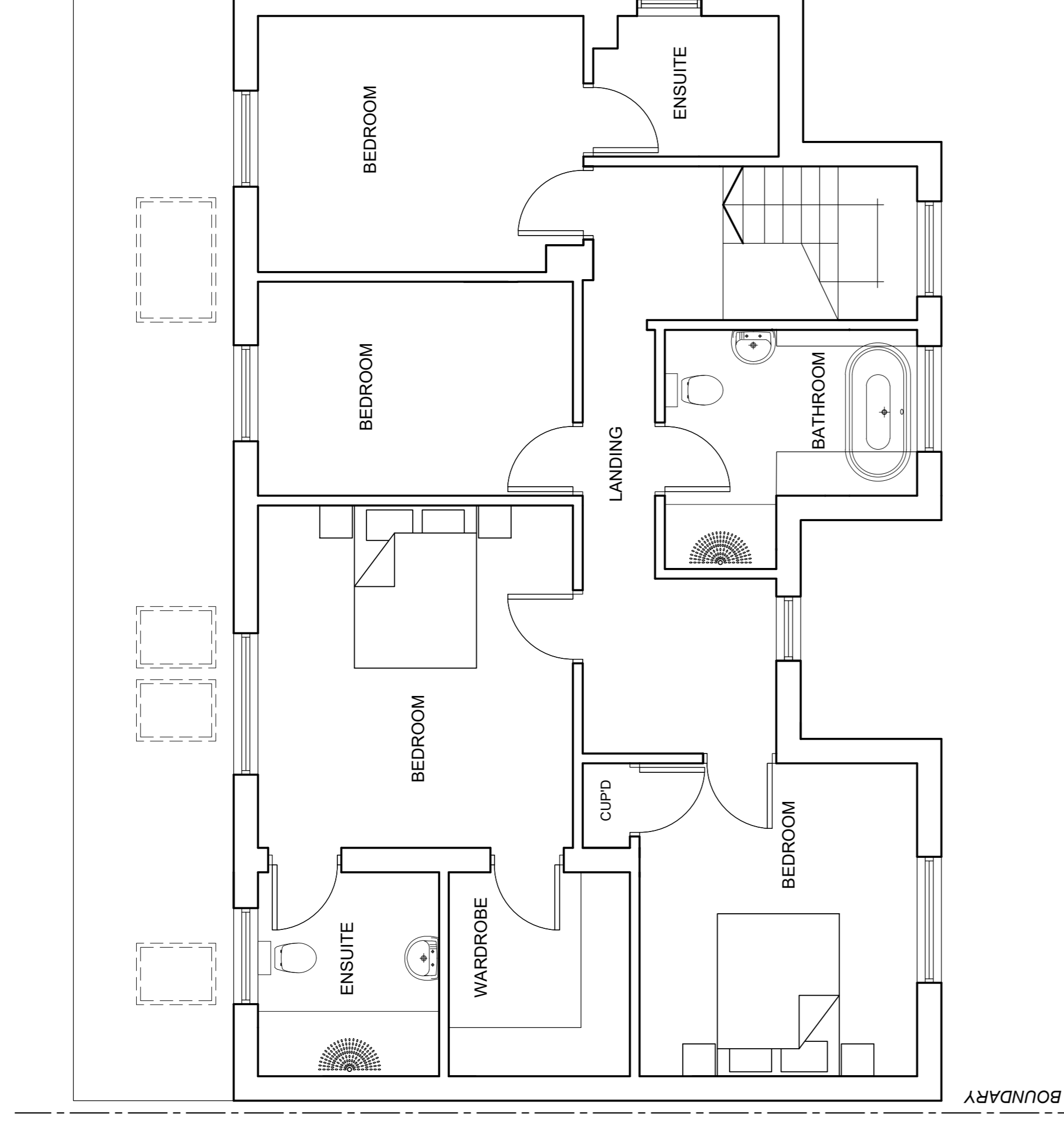


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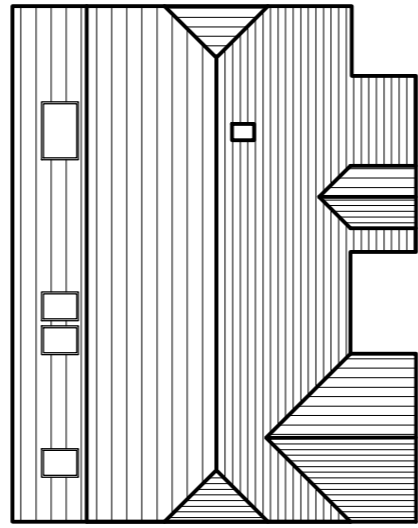
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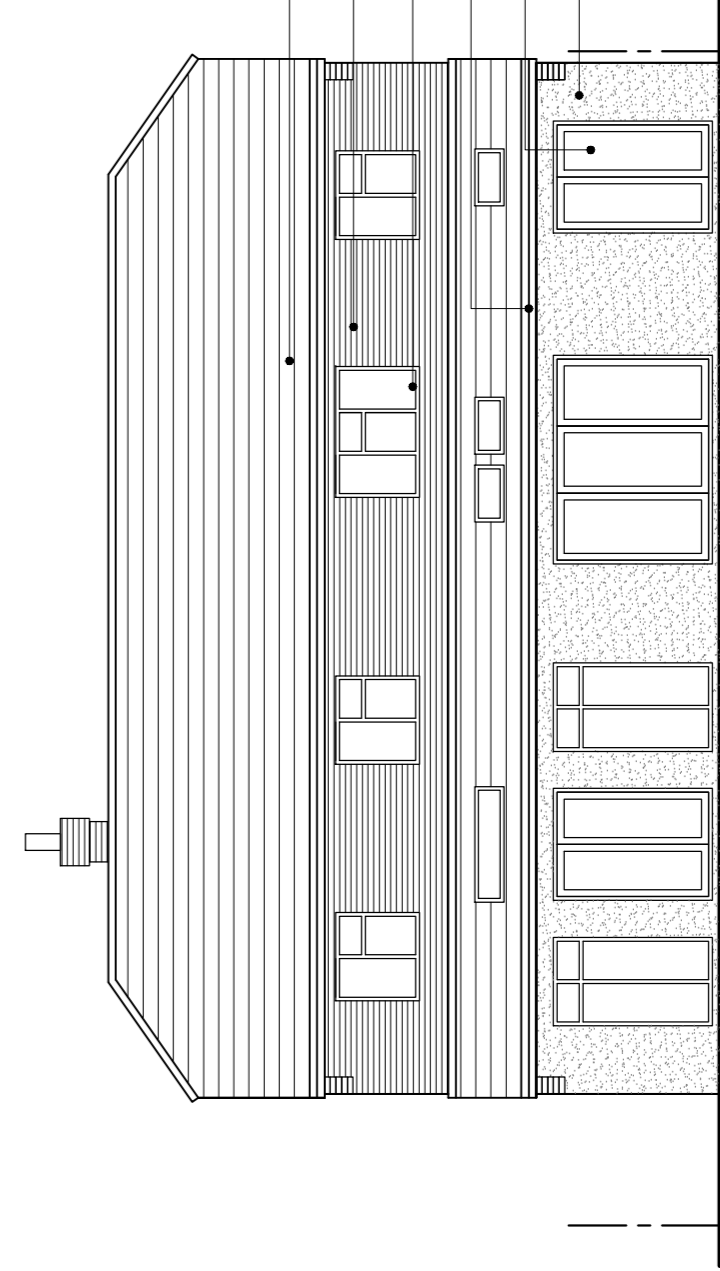
PROPOSED GROUND FLOOR PLAN 1:50



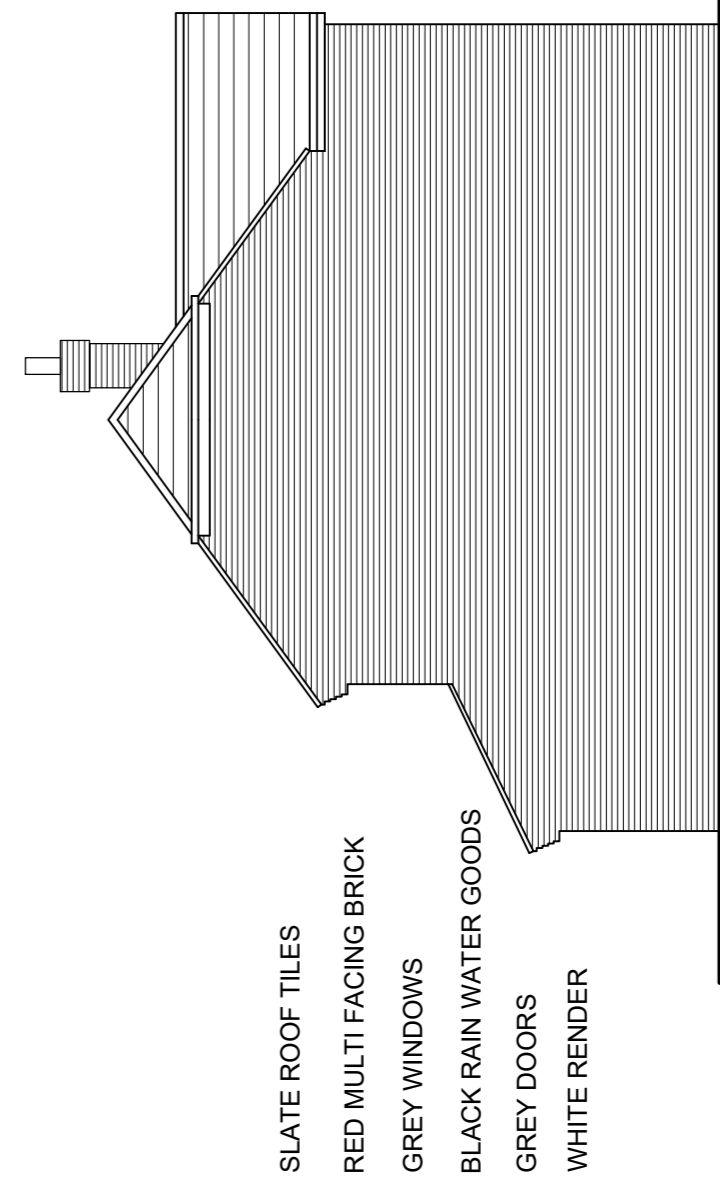
PROPOSED FIRST FLOOR PLAN 1:50



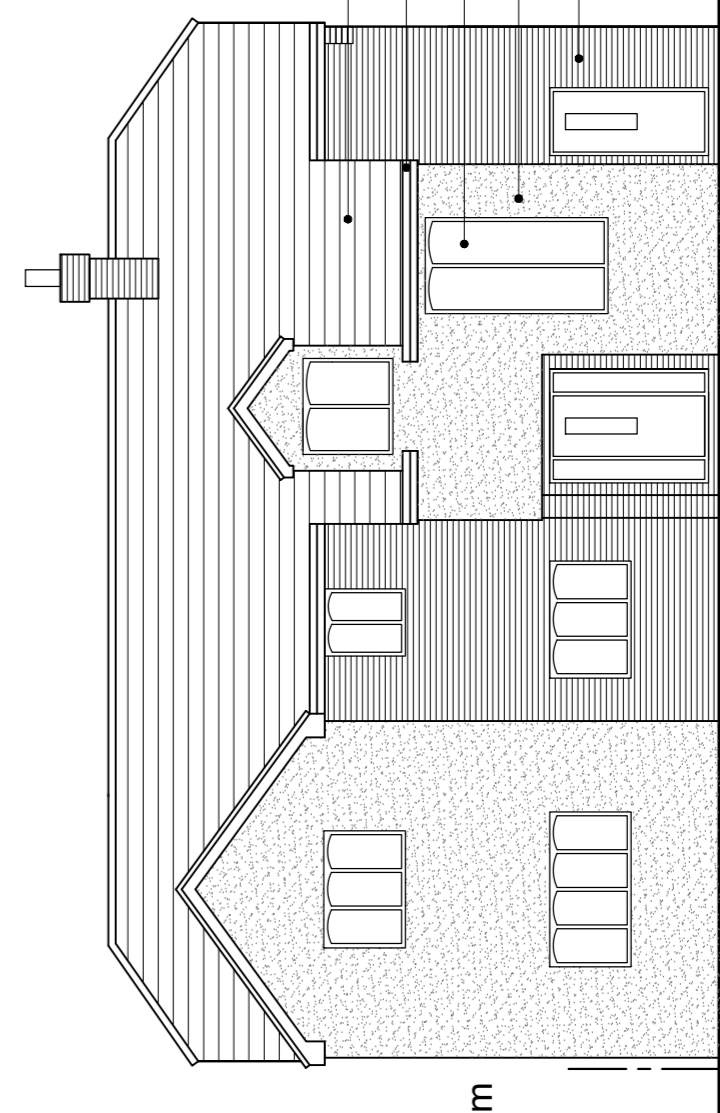
PROPOSED ROOF PLAN 1:200



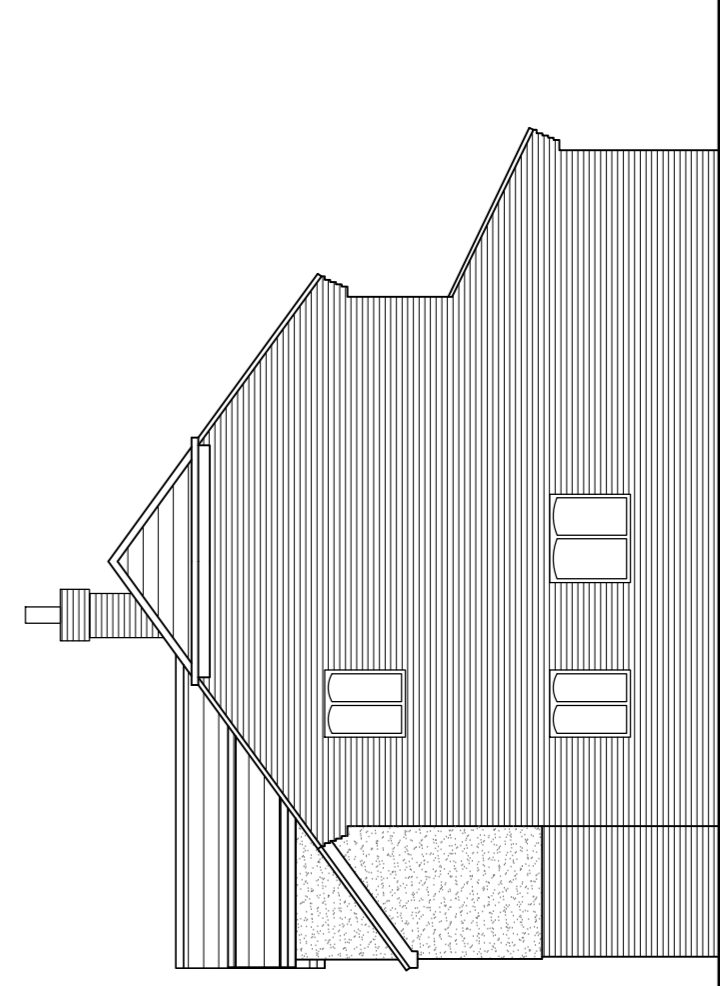
PROPOSED REAR ELEVATION 1:100



PROPOSED SIDE ELEVATION 1:100



PROPOSED FRONT ELEVATION 1:100



PROPOSED SIDE ELEVATION 1:100